

LWP Property Group
Bushfire Management Plan (BMP) Compliance and
Condition Clearance Report

Stage 4A Hesperia, Ellenbrook

17 September 2021

61567/140,633 (Rev 0)

JBS&G Australia Pty Ltd T/A Strategen-JBS&G

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1. Introduction

1.1 Site/development summary

Table 1 provides a summary of the site and proposed development. The development layout and subject lots are shown in Figure 1 and Figure 2.

Table 1: Site/development summary

Site details	
Address details	31 proposed residential lots within Stage 4A Hesperia, Ellenbrook WA 6069
Local government area	City of Swan
Description of building works	Construction of a single residential dwelling (Class 1a building and associated Class 10a building/s) within each lot

1.2 Purpose of report

This Bushfire Management Plan (BMP) compliance report has been prepared for 31 proposed residential lots within Stage 4A Hesperia, Ellenbrook (hereafter referred to as the project area). Stage 4A Hesperia is subject to the following bushfire-related conditions of subdivision approval:

- Condition 13 of subdivision approval (WAPC Ref. 158428), issued on 20 December 2019, requires that the management measures contained in the updated 2020 Strategen-JBS&G BMP be implemented, as follows:
 - *Condition 13: Information is to be provided to demonstrate that all relevant implementation measures contained under Table 4 of the Bushfire Management Plan - Lot 9338 Drumpellier Drive, Ellenbrook prepared by Strategen-JBS&G (July 2019 or in a subsequent version supported by the City of Swan) have been satisfactorily implemented during subdivisional works, including but not limited to any necessary formal written agreements and approvals as may be required by the City for the ongoing maintenance of the Drumpellier Drive road verge to a low threat, minimal fuel condition state. This information should include a notice of 'Certification by Bushfire Consultant.' (Local Government)*
 - Condition 17 of subdivision approval (WAPC Ref. 158021), issued on 8 August 2019, requires that the management measures contained within the updated 2020 Strategen-JBS&G BMP be implemented, as follows:
 - *Condition 17: The Bushfire Management Plan – Lot 9338 Drumpellier Drive, Ellenbrook prepared by Strategen-JBS&G in July 2019 (BMP) is to be approved and information provided to demonstrate that measures in the BMP that address the following:*
 - a) *management of public open space and road verges to a low threat, minimal fuel condition*
 - b) *management of a 100 m buffer surrounding the subdivision area to a low threat, minimal fuel condition*
 - c) *provision of fire hydrants along the internal road network that meet Water Corporation and Department of Fire and Emergency Services requirements*
- have been implemented during subdivisional works. This information should include a notice of 'Certification by Bushfire Consultant'. (Local Government).*

Aside from addressing the above conditional requirements and demonstrating that Stage 4A Hesperia has been established to comply with the relevant provisions of the approved subdivision BMP and associated bushfire protection criteria of the Guidelines, this report also provides a post-subdivisional works update of the Bushfire Attack Level (BAL) ratings for individual lots within the project area for the benefit of the developer, future lot purchasers and decision makers. BAL certificates for each individual lot (contained in Appendix A) have been prepared based on the final site compliance check and are appended to this report for use at the building permit stage.

The BAL assessment outlined in this report is the most up to date assessment from Strategen-JBS&G relating to the project area and has been prepared in consideration of the previous BAL contour assessments documented in the subdivision stage BMPs (Strategen 2017, Strategen-JBS&G 2019, 2020). The approach for preparation of this BMP compliance report is consistent with Section 4.2 and Appendix 3 of *Guidelines for Planning in Bushfire Prone Areas* (the Guidelines; WAPC 2017).

Other plans/reports that have been prepared for the project area include:

- subdivision stage Bushfire Management Plan for Lots 9322 and 9323 Drumpellier Drive, Ellenbrook prepared by Strategen (2017)
- updated subdivision stage Bushfire Management Plan for Lot 9338 Drumpellier Drive, Ellenbrook prepared by Strategen-JBS&G (2019)
- updated subdivision stage Bushfire Management Plan for Lots 9347 and 9357 Drumpellier Drive, Ellenbrook Town Centre prepared by Strategen-JBS&G (2020).

The entire project area is designated as bushfire prone on the Map of Bush Fire Prone Areas (DFES 2019, see Plate 1). As such, bushfire risk considerations and BAL assessment are applicable to the planning and building stages for all proposed lots.








Plate 1: Map of Bush Fire Prone Areas (DFES 2019)



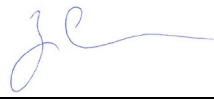
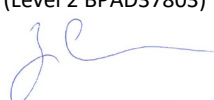
2. Implementation of relevant bushfire management measures

The endorsed BMPs include several bushfire management strategies that are inherent to the ability for the development to achieve bushfire compliance and the associated residential lots to achieve the BAL ratings intended under the subdivision stage BAL contour maps.

Strategen-JBS&G can confirm that the relevant bushfire management actions detailed in the endorsed Strategen/Strategen-JBS&G BMPs have been implemented as intended throughout the duration of subdivisional works. Table 2 summarises the status of each implementation action from the latest (i.e. most up to date and relevant) Strategen-JBS&G 2020 BMP.

Table 2: BMP implementation actions

Action	Status	Evidence	Certification by bushfire consultant
On-site fuel management Management Action 1a: <i>'Establish and maintain bushfire fuels within all cleared lots to achieve exclusion Clause 2.2.3.2 (f) of AS 3959.'</i>	Complete	The entire project area has been completely cleared (refer to Nearmap imagery in Figure 1) and will be developed in accordance with the approved subdivision plan to achieve exclusion under Clauses 2.2.3.2 (e) and (f).	Zac Cockerill (Level 2 BPAD37803) 
POS fuel management Management Action 1b: <i>'Establish and maintain portions of POS to be cleared/excluded as depicted on Figure 4 in a low threat state to achieve exclusion Clause 2.2.3.2 (f) of AS 3959.'</i>	Complete	All existing and future POS situated within 100 m of the project area is being managed in a low threat state in accordance with Clauses 2.2.3.2 (e) and (f) (refer to Nearmap imagery in Figure 1 and site photos 4g and 4i).	Zac Cockerill (Level 2 BPAD37803) 
Road reserve fuel management Management Action 1c: <i>'Maintain excluded areas of existing roads reserves and new road verges in a low threat state to achieve exclusion Clause 2.2.3.2 (f) of AS 3959 (this includes the eastern Drumpellier Drive road verge and southern Promenade road verge in accordance with existing City management arrangements specified in Section 2.2.3).'</i>	Complete	Existing road reserves are being maintained in a low threat state to achieve exclusion under Clause 2.2.3.2 (f), including Drumpellier Drive (refer to Nearmap imagery in Figure 1 and site photos 4e, 4f, 4h, 4j, 4k, 4l, 4m and 4n). Agreement in writing by the City to maintain the Drumpellier Drive road verges in a low threat state is contained within Section 2.2.3 of the Strategen-JBS&G 2020 BMP.	Zac Cockerill (Level 2 BPAD37803) 
Balance lot staging buffers Management Action 1d: <i>'Implement staging buffers within balance lots around each development stage where required, prior to development within that stage, and maintained as required to ensure the buffer is kept in a low threat minimal fuel condition on a regular and ongoing basis until developed.'</i>	Complete	100 m wide low threat staging buffers have been established around the project area (refer to Nearmap imagery in Figure 1 and site photos 4a–4o).	Zac Cockerill (Level 2 BPAD37803) 
Building construction standards Management Action 2a: <i>'Construct buildings in accordance with AS 3959, either in accordance with this BMP or future reassessment of the BAL to support the building permit stage.'</i>	N/A - to be completed at building stage	N/A	N/A
Vehicular access Management Action 3a: <i>'Construct public roads and temporary cul-de-sacs/EAWs (as required) in accordance with subdivision approval and relevant technical requirements of the Guidelines.'</i>	Complete with works bonded	Public roads and three temporary compliant cul-de-sacs will be constructed in accordance with the roadworks plan (refer to Appendix B).	Zac Cockerill (Level 2 BPAD37803) 

Action	Status	Evidence	Certification by bushfire consultant
Vehicular access Management Action 3b: <i>'Construct firebreaks around boundaries of relevant lots in accordance with requirements of the City of Swan annual firebreak order outlined in Appendix 3.'</i>	Complete	The project area complies with the current City of Swan annual firebreak notice and will continue to comply through establishment of the project area into a permanent low threat state through residential development.	Zac Cockerill (Level 2 BPAD37803) 
Reticulated water supply Management Action 4a: <i>'Construct reticulated water supply and network of hydrants in accordance with DA approval and water authority, DFES and City technical requirements.'</i>	Complete, with works bonded	A reticulated water supply and network of hydrants will be installed in accordance with the water reticulation plan (refer to Appendix C).	Zac Cockerill (Level 2 BPAD37803) 
Additional measures Management Action 5a: <i>'Place notification on the Certificates of Title of all proposed lots with a BAL rating of 12.5 or above.'</i>	N/A - to be completed by others at creation of Title	N/A	N/A
Additional measures Management Action 5b: <i>'Reassess BALs for individual lots.'</i>	Complete	This report	Zac Cockerill (Level 2 BPAD37803) 
Additional measures Management Action 5c: <i>'Comply with the City of Swan annual firebreak order outlined in Appendix 3'</i>	Complete	The project area complies with the current City of Swan annual firebreak notice and will continue to comply through establishment of the project area into a permanent low threat state through residential development.	Zac Cockerill (Level 2 BPAD37803) 

3. Bushfire assessment results

3.1 Assessment inputs

3.1.1 Vegetation classification

Strategen-JBS&G assessed classified vegetation and exclusions within the 150 m assessment area through on-ground verification on 25 August 2021 in accordance with AS 3959—2018 *Construction of Buildings in Bushfire-Prone Areas* (AS 3959; SA 2018) and the *Visual Guide for Bushfire Risk Assessment in Western Australia* (DoP 2016). Georeferenced site photos and a description of the vegetation classifications and exclusions are contained in Appendix D and depicted in Figure 1.

Site observations indicate that the current on-ground vegetation classifications align with those from the endorsed subdivision stage BMPs (Strategen 2017, Strategen-JBS&G 2019, 2020), as per the following comments:

- the project area and associated on-site staging buffers have been completely cleared and/or converted to a low threat, managed state in preparation for proposed urban development and are excluded under Clauses 2.2.3.2 (e) and (f)
- the adjacent 150 m of land consists of:
 - Class A forest and Class D scrub to the west of the project area, opposite Drumpellier Drive
 - non-vegetated areas (e.g. roads and buildings) or low threat managed land (road verge treatments, managed POS, vacant balance landholdings), which are excluded under Clauses 2.2.3.2 (e) and (f)
 - multiple areas of scrub/grassland retained to the south and southeast of the project area within future development areas of the site that occupy less than 0.25 ha in area and are situated greater than 20 m from each other, the site and other areas of classified vegetation and as such, are excludable under Clause 2.2.3.2 (c).

3.1.2 Effective slope

Strategen-JBS&G assessed effective slope under classified vegetation within the 150 m assessment area through on-ground verification on 25 August 2020 in accordance with AS 3959. Results were cross-referenced with DPIRD 2 m contour data and are depicted in Figure 1.

Site observations indicate that effective slope under the classified vegetation aligns with the effective slopes identified within the endorsed BMPs (Strategen 2017, Strategen-JBS&G 2019, 2020).

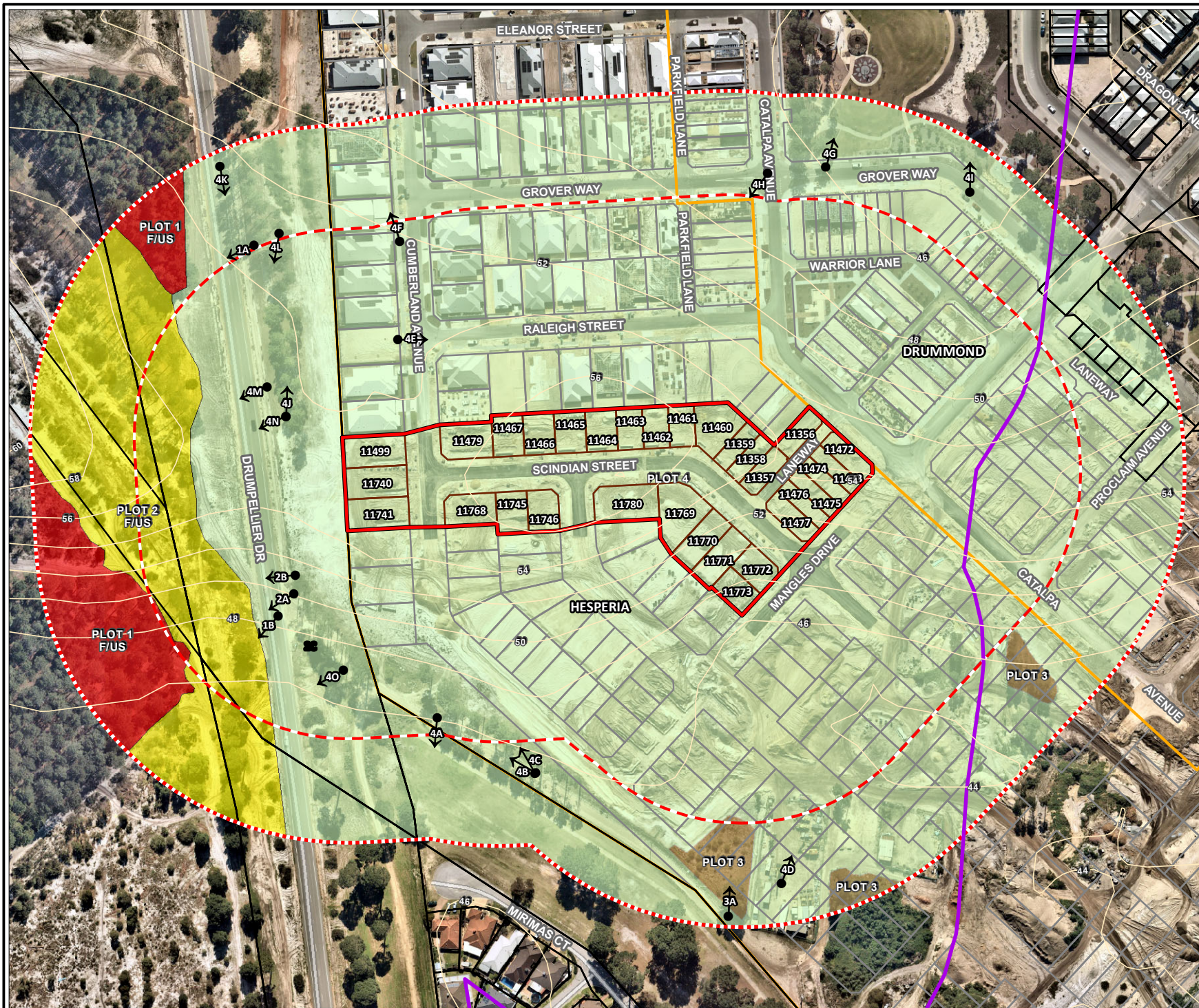
The project area and land occupied by POS and staging buffers occur on land that is flat or up-slope in relation to proposed development.

3.1.3 Summary of inputs

Figure 1 illustrates the current post-development vegetation classifications and exclusions observed during the site inspection. The vegetation classifications/exclusions and effective slope are summarised in Table 3.

Table 3: Summary of vegetation classifications, exclusions and effective slope

Vegetation plot	Vegetation classification	Effective slope	Comments
1	Class A Forest	Flat/upslope (0°)	Forest vegetation comprising a mature pine plantation with deep surface fuels, dense canopy and trees greater than 20 m in height.
2	Class D Scrub	Flat/upslope (0°)	Shrubs greater than 2 m high; 10–30% foliage cover with a mixed species composition.
3	Excluded – Clause 2.2.3.2 [c]	N/A	Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other, or other areas of vegetation being classified vegetation.
4	Excluded – Non-vegetated and Low threat (Clause 2.2.3.2 [e] and [f])	N/A	Existing non-vegetated areas (i.e. cleared staging buffers, cleared vacant lots, cleared roads under construction, roads, mulched areas, paths, playgrounds, driveways) and low threat managed vegetation (i.e. turfed areas, street trees, verge treatments, irrigated/managed portions of POS, managed gardens, slashed road verges).



- Legend**
- Project area
 - 100m assessment area
 - 150m assessment area
 - Cadastral boundary
 - Proposed lots
 - Future indicative lot layout on adjacent stages
 - Bushfire prone areas
 - Vegetation classification**
 - Class A Forest
 - Class D Scrub
 - Clause 2.2.3.2 (c)
 - Clause 2.2.3.2 (e) & (f)
 - Stage boundaries
 - Photo point directions
 - Topographic contours (mAHd)
 - Roads (MRWA)



Job No: 61567

Client: LWP Property

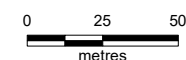
Version: A

Date 16/09/2021

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Checked By: CT

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Coor. Sys. GDA 1994 MGA Zone 50

**Stage 4A Hesperia,
Ellenbrook, WA**

**VEGETATION CLASSIFICATION
AND EFFECTIVE SLOPE**

FIGURE 1

3.2 Assessment outputs

3.2.1 Bushfire Attack Level (BAL) contour assessment

Strategen-JBS&G has undertaken a BAL contour assessment in accordance with Method 1 of AS 3959 for the project area (Figure 2). The Method 1 procedure incorporates the following factors:

- state-adopted FDI 80 rating
- vegetation classification
- effective slope
- distance maintained between proposed development areas and the classified vegetation.

The BAL contours are based on the current on-ground site conditions and take into consideration the bushfire management measures that have been implemented on site as listed in Section 2.

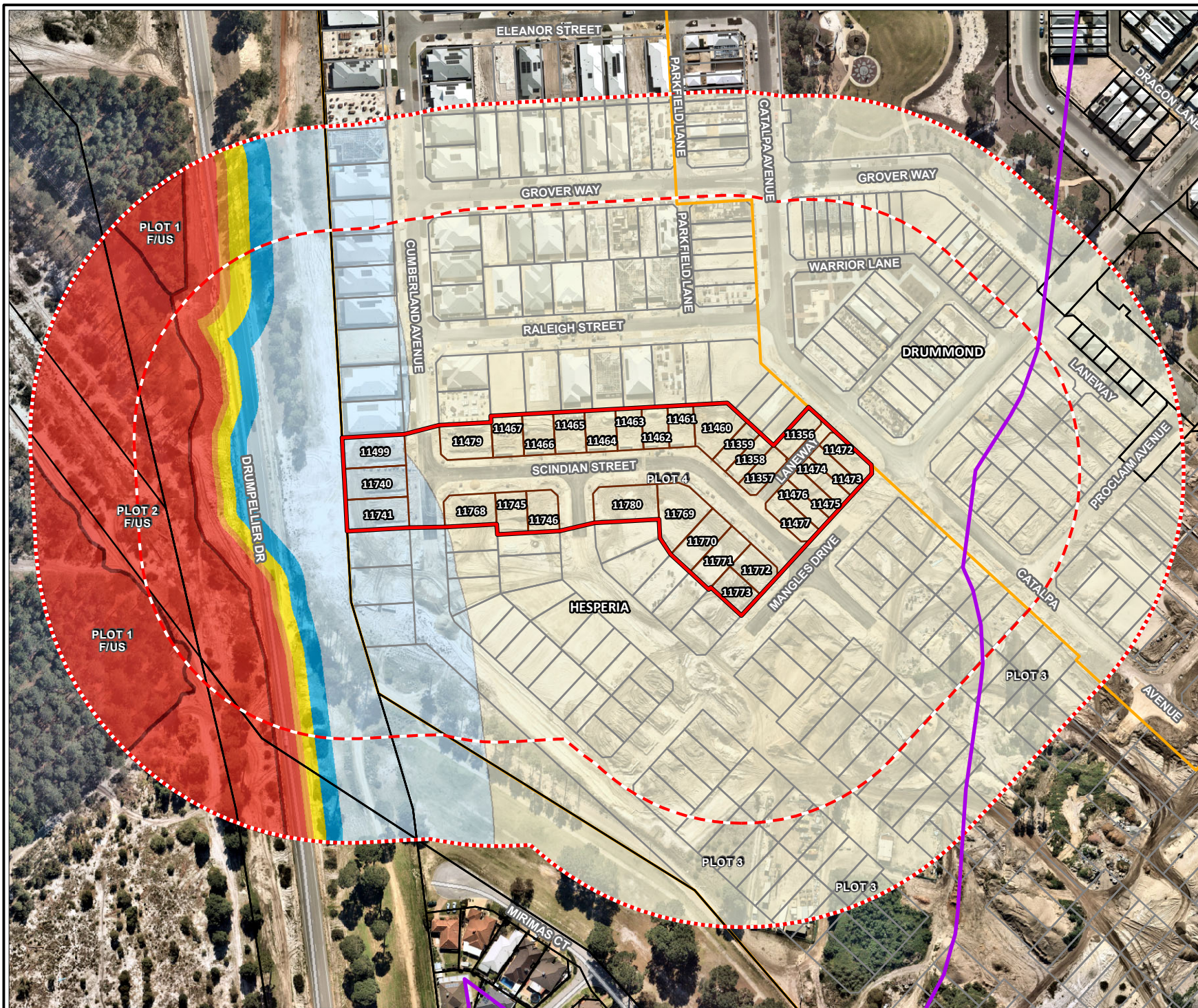
Results of the BAL contour assessment for individual lots within Stage 4A Hesperia are detailed in Table 4 and illustrated in Figure 2.

Table 4: BAL contour assessment results

Method 1 BAL determination								
Lot	Bushfire prone	Vegetation plot	Vegetation classification	Effective slope	Separation distance	Highest BAL	Building setback to achieve lower BAL	Reduced BAL
11356	Yes	2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11357		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11358		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11359		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11460		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11461		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11462		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11463		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11464		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11465		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11466		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11467		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11472		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11473		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11474		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11475		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11476		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11477		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11479		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11499		2	Class D Scrub	Flat/upslope (0°)	72m	BAL-12.5	N/A	N/A
11740		2	Class D Scrub	Flat/upslope (0°)	62m	BAL-12.5	N/A	N/A
11741		2	Class D Scrub	Flat/upslope (0°)	55m	BAL-12.5	N/A	N/A
11745		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11746		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11768		2	Class D Scrub	Flat/upslope (0°)	99m	BAL-12.5	1m truncated front setback	BAL-Low
11769		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11770		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11771		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11772		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11773		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A
11780		2	Class D Scrub	Flat/upslope (0°)	>100m	BAL-Low	N/A	N/A

3.2.2 BAL certificates

BAL certificates for individual lots within Stage 4A Hesperia are provided in Appendix A in accordance with the BAL contour assessment results detailed in Table 4 and Figure 2.



- Legend**
- Project area
 - 100m assessment area
 - 150m assessment area
 - Cadastral boundary
 - Proposed lots
 - Future indicative lot layout on adjacent stages
 - Bushfire prone areas
 - Classified vegetation
 - BAL contours
 - BAL FZ
 - BAL 40
 - BAL 29
 - BAL 19
 - BAL 12.5
 - BAL Low
 - Stage boundaries
 - Roads (MRWA)



Job No: 61567

Client: LWP Property

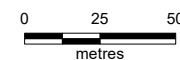
Version: A

Date 16/09/2021

Drawn By: jcrute

Checked By: CT

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Coor. Sys. GDA 1994 MGA Zone 50

**Stage 4A Hesperia,
Ellenbrook, WA**

BAL CONTOUR MAP

FIGURE 2

4. Conclusion and recommendations

This BMP compliance report has been prepared for 31 proposed residential lots within Stage 4A Hesperia. This report addresses the relevant bushfire-related conditions of the various WAPC subdivision approvals and demonstrates that Stage 4A has been established to comply with the relevant provisions of the approved subdivision stage BMPs and associated bushfire protection criteria of the Guidelines, including provision for sufficiently sized low threat staging buffers around the development cells such that BAL-29 or lower can be achieved for all proposed lots within the stage. This report also provides a final BAL check for individual lots for use at the building permit stage.

Assessment results are consistent with current on-ground conditions. Strategen-JBS&G can confirm that the existing BMPs over the site have been implemented as intended throughout the duration of subdivisional works for the relevant Stage 4A area and adjacent land. Strategen-JBS&G considers that the BAL contour assessment and BAL certificates outlined in this report are accurate to inform individual lot building permit applications.

5. References

Department of Fire and Emergency Services (DFES) 2019, *Map of Bush Fire Prone Areas*, [Online], Government of Western Australia, available from: <https://maps.slip.wa.gov.au/landgate/bushfireprone/>, [25/08/2021].

Department of Planning (DoP) 2016, *Visual guide for bushfire risk assessment in Western Australia*, Department of Planning, Perth.

Standards Australia (SA) 2018, *Australian Standard AS 3959–2018 Construction of Buildings in Bushfire-prone Areas*, Standards Australia, Sydney.

Strategen Environmental (Strategen) 2017, *Bushfire Management Plan: Lots 9322 and 9323 Drumpellier Drive, Ellenbrook*, Strategen Bunbury.

Strategen-JBS&G 2019, *Bushfire Management Plan: Lot 9338 Drumpellier Drive, Ellenbrook*, Strategen-JBS&G Bunbury.

Strategen-JBS&G 2020, *Bushfire Management Plan: Lots 9347 and 9357 Drumpellier Drive, Ellenbrook Town Centre*, Strategen-JBS&G Bunbury.

Western Australian Planning Commission (WAPC) 2017, *Guidelines for Planning in Bushfire Prone Areas*, Version 1.3 August 2017, Western Australian Planning Commission, Perth.

6. Limitations

Scope of services

This report ("the report") has been prepared by Strategen-JBS&G in accordance with the scope of services set out in the contract, or as otherwise agreed, between the Client and Strategen-JBS&G. In some circumstances, a range of factors such as time, budget, access and/or site disturbance constraints may have limited the scope of services. This report is strictly limited to the matters stated in it and is not to be read as extending, by implication, to any other matter in connection with the matters addressed in it.

Reliance on data

In preparing the report, Strategen-JBS&G has relied upon data and other information provided by the Client and other individuals and organisations, most of which are referred to in the report ("the data"). Except as otherwise expressly stated in the report, Strategen-JBS&G has not verified the accuracy or completeness of the data. To the extent that the statements, opinions, facts, information, conclusions and/or recommendations in the report ("conclusions") are based in whole or part on the data, those conclusions are contingent upon the accuracy and completeness of the data. Strategen-JBS&G has also not attempted to determine whether any material matter has been omitted from the data. Strategen-JBS&G will not be liable in relation to incorrect conclusions should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to Strategen-JBS&G. The making of any assumption does not imply that Strategen-JBS&G has made any enquiry to verify the correctness of that assumption.

The report is based on conditions encountered and information received at the time of preparation of this report or the time that site investigations were carried out. Strategen-JBS&G disclaims responsibility for any changes that may have occurred after this time. This report and any legal issues arising from it are governed by and construed in accordance with the law of Western Australia as at the date of this report.

Environmental conclusions

Within the limitations imposed by the scope of services, the preparation of this report has been undertaken and performed in a professional manner, in accordance with generally accepted environmental consulting practices. No other warranty, whether express or implied, is made.

The advice herein relates only to this project and all results conclusions and recommendations made should be reviewed by a competent person with experience in environmental investigations, before being used for any other purpose.

Strategen-JBS&G accepts no liability for use or interpretation by any person or body other than the client who commissioned the works. This report should not be reproduced without prior approval by the client, or amended in any way without prior approval by Strategen-JBS&G, and should not be relied upon by other parties, who should make their own enquiries.

Appendix A BAL certificates

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

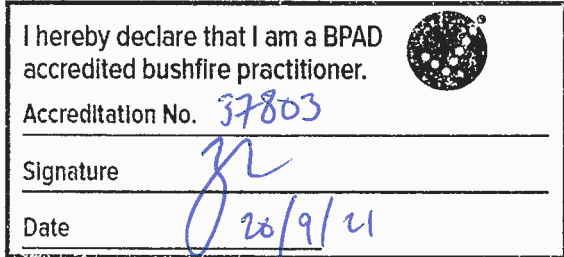
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11356	Street name / Plan Reference Catalpa Avenue		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div>  <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>[Signature]</i></p> <p>Date 20/9/21</p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen-JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

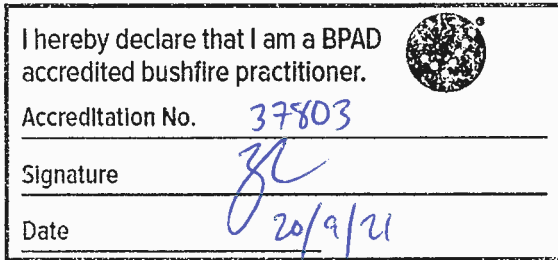
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11357	Street name / Plan Reference Scindian Street		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill Company Details JBS&G Australia Pty Ltd T/A Strategen-JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>[Signature]</i></p> <p>Date 20/9/21</p>

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.


Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11358	Street name / Plan Reference Scindian Street		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div> I hereby declare that I am a BPAD accredited bushfire practitioner.  </div> <div> Accreditation No. <u>37803</u> </div> <div> Signature <u>[Signature]</u> </div> <div> Date <u>20/9/21</u> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen-JBS&G	
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Authorised Practitioner Stamp

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11359	Street name / Plan Reference Scindian Street		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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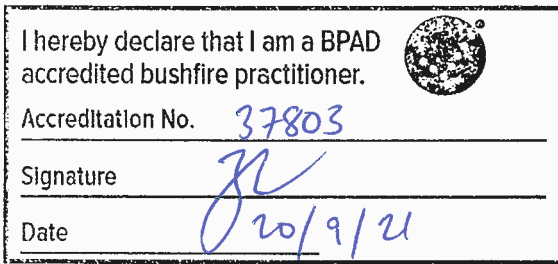
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11460	Street name / Plan Reference Scindian Street		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11461	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11462	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

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AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11463	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
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Determination of Highest Bushfire Attack Level

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11464	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
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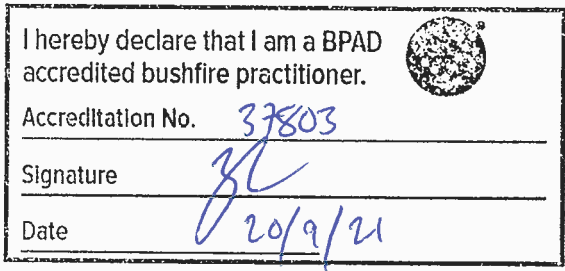
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11465	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11466	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
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Determination of Highest Bushfire Attack Level

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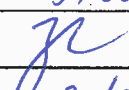
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11467	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

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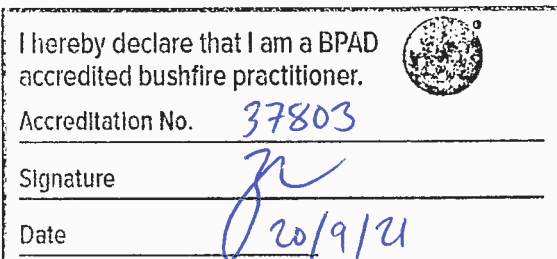
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11472	Street name / Plan Reference Mangles Drive		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

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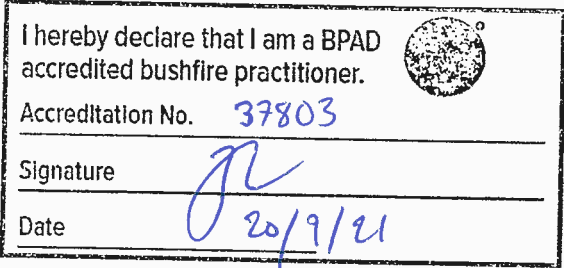
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11473	Street name / Plan Reference Mangles Drive	
	Suburb Ellenbrook			State WA	Postcode 6069
Local government area	City of Swan				
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11474	Mangles Drive		
Local government area	Suburb			State	Postcode	
	Ellenbrook			WA	6069	
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
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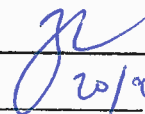
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11475	Mangles Drive		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

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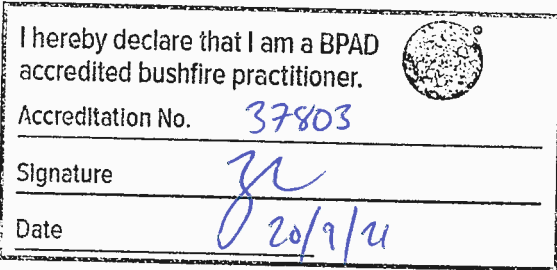
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11476	Mangles Drive		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
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AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>[Signature]</i></p> <p>Date 20/9/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen-JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11477	Mangles Drive		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
	Class 1a	Use(s) of the building		Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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Bushfire Attack Level (BAL) Certificate

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11479	Street name / Plan Reference Cumberland Avenue	
	Suburb Ellenbrook			State WA	Postcode 6069
Local government area	City of Swan				
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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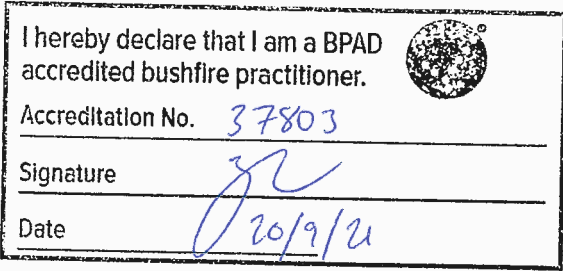
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11499	Cumberland Avenue	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	72m	BAL – 12.5

BPAD Accredited Practitioner Details

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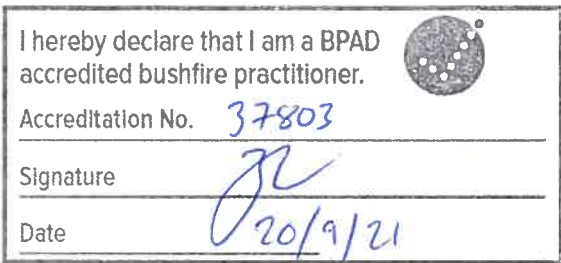
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11740	Street name / Plan Reference Cumberland Avenue		
	Suburb Ellenbrook			State WA	Postcode 6069	
Local government area	City of Swan					
Main BCA class of the building	Class 1a	Use(s) of the building		Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	62m	BAL – 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill Company Details JBS&G Australia Pty Ltd T/A Strategen-JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>[Signature]</i></p> <p>Date 20/9/21</p>

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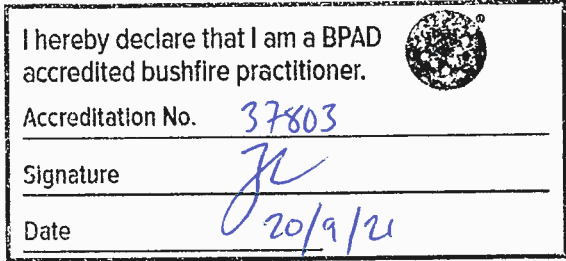
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11741	Street name / Plan Reference Cumberland Avenue	
	Suburb Ellenbrook			State WA	Postcode 6069
Local government area	City of Swan				
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	55m	BAL – 12.5

BPAD Accredited Practitioner Details

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Authorised Practitioner Stamp

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11745	Scindian Street		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11746	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div> I hereby declare that I am a BPAD accredited bushfire practitioner.  </div> <div> Accreditation No. <u>37803</u> </div> <div> Signature <u>[Signature]</u> </div> <div> Date <u>20/9/21</u> </div>
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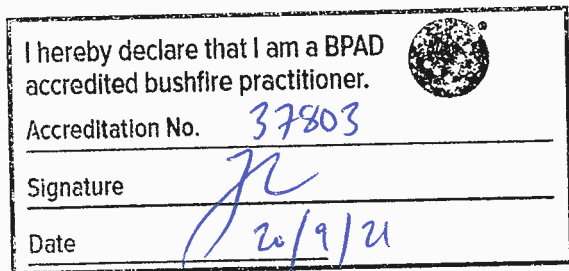
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11768	Cumberland Avenue	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	99m (lower BAL achievable with setback)	BAL – 12.5

BPAD Accredited Practitioner Details

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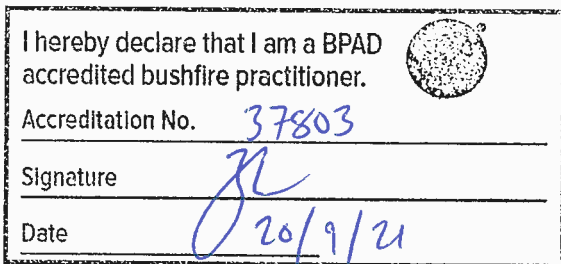
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11769	Scindian Street		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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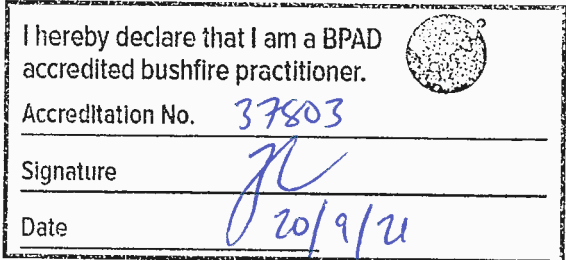
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11770	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

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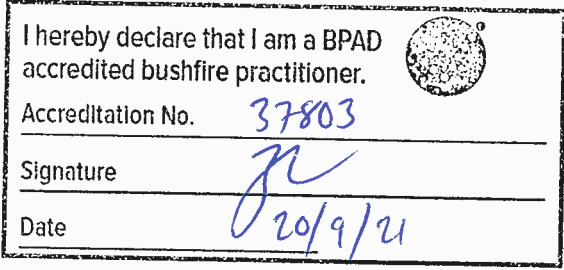
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no 11771	Street name / Plan Reference Scindian Street	
	Suburb Ellenbrook			State WA	Postcode 6069
Local government area	City of Swan				
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

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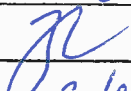
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			11772	Mangles Drive		
Local government area	Suburb			State		Postcode
	Ellenbrook			WA		6069
Main BCA class of the building	City of Swan					
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling			
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div><div>I hereby declare that I am a BPAD accredited bushfire practitioner.</div><div><div>Accreditation No.</div><div>37803</div></div><div><div>Signature</div><div></div></div><div><div>Date</div><div>20/9/21</div></div></div>
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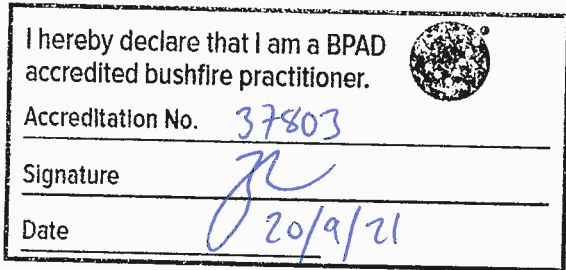
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11773	Mangles Drive	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

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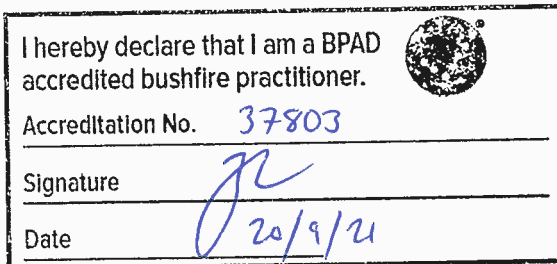

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			11780	Scindian Street	
Local government area	Suburb			State	Postcode
	Ellenbrook			WA	6069
Main BCA class of the building	City of Swan				
Description of the building or works	Class 1a	Use(s) of the building	Residential dwelling		
	Construction of a single residential dwelling and associated Class 10a structure (BAL assessment provides BAL rating to nominated lot boundary).				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/upslope (0°)	>100m	BAL – LOW

BPAD Accredited Practitioner Details

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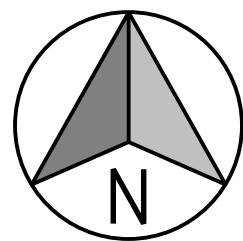
Appendix B Civil roadworks plan

P:\5683-Ellebrook - Town Centre Upgrade\Stage 4a\Asat\5683-H4A-610.dwg, 6/07/2021 2:56:37 PM, harny, Digital Signing PDF p23, 11, - CIV Reference



FOR NOTES AND LEGEND REFER DRAWING 5683-H4A-600

0	06.07.21	HVD	MH		MANGLES DRIVE/SCINDIAN STREET 4 WAY ISLANDS ADDED, ISSUED FOR CONSTRUCTION
B	15.06.21	HVD	MH	M. WALLIS	4-WAY INTERSECTION TREATMENT AMENDED
A	25.03.21	JWD	MH	M. WALLIS	ISSUED FOR APPROVAL
REV	DATE	DRN	CKD	APP	AMENDMENT



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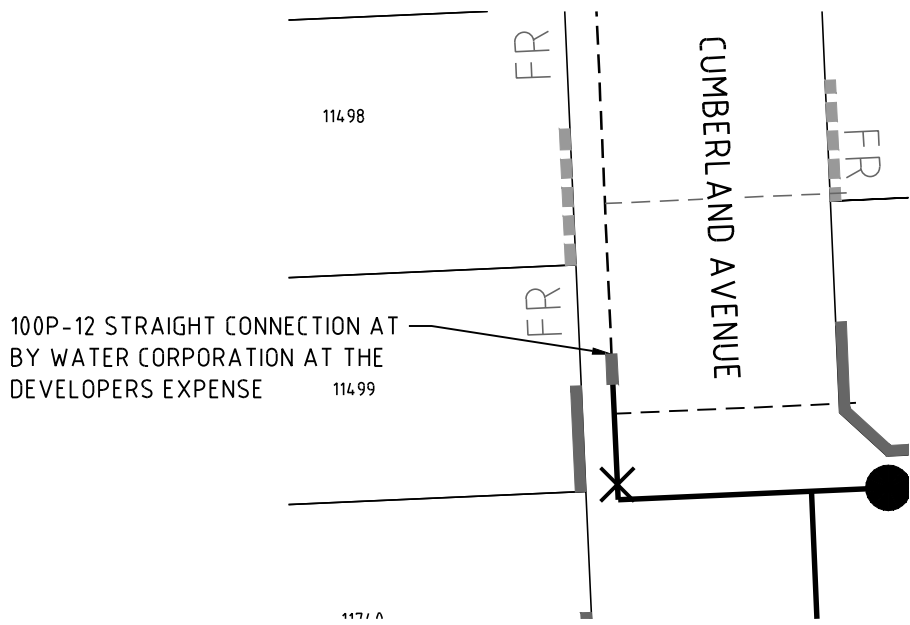
DESIGNED
AAD
SCALE
1:500

PROJECT
ELLENBROOK TOWN CENTER - STAGE H4A
TITLE
ROADWORKS AND STORMWATER DRAINAGE
SHEET 1 OF 2
WAPC No.
158428, 158635 & 158021
DRAWING No.
5683-H4A-610
REVISION
0

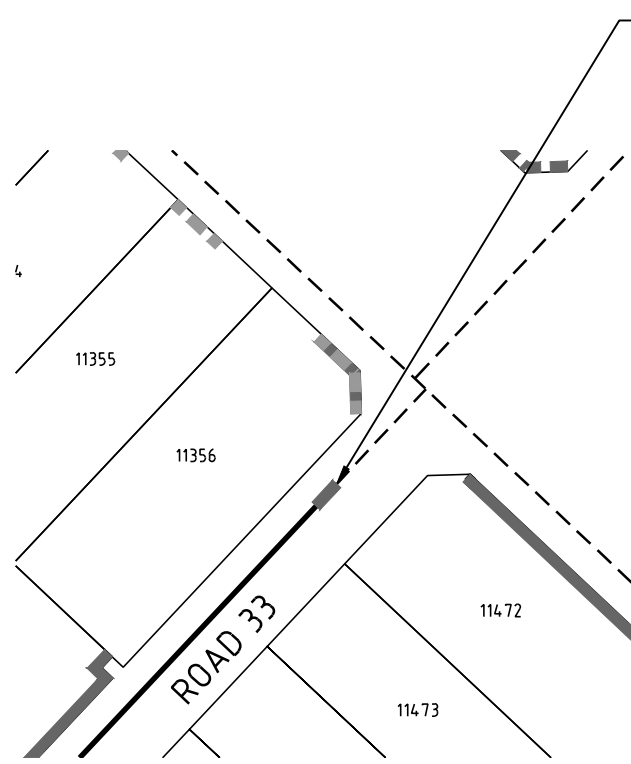
ORIGINAL SIZE
A1

Appendix C Civil water reticulation plan

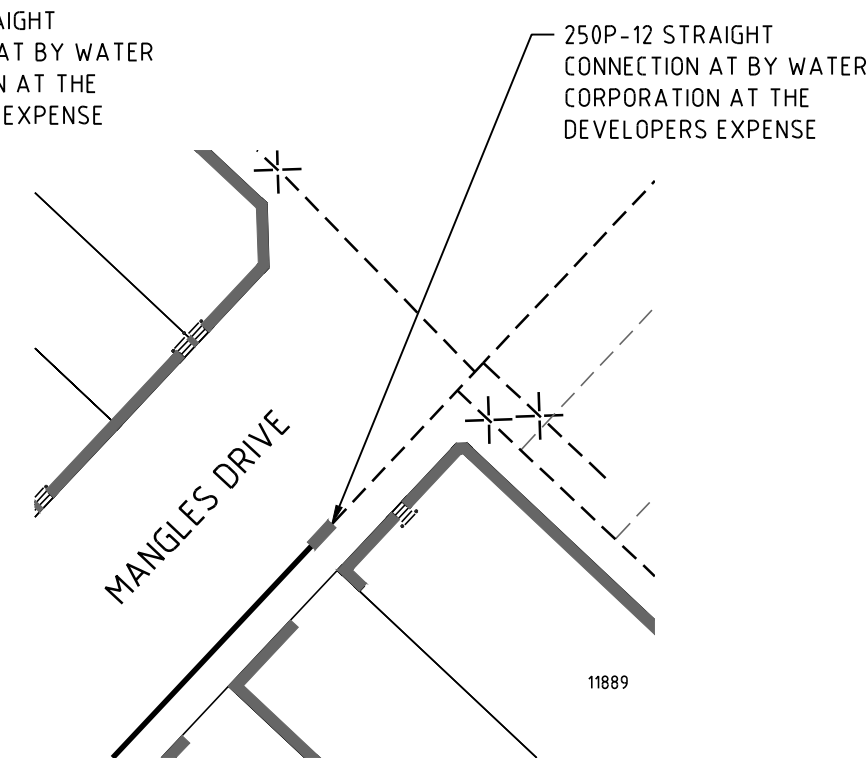
P:\5683 Ellbrook - Town Centre\Heggie\Stage 4a\Acad\5683-H4A-500.dwg, 19/05/2021 7:51:27 AM, hnmv, Digital Signing PDF p.c3, 1-1, - CIV Reference



CONNECTION DETAIL No. 1



CONNECTION DETAIL No. 2



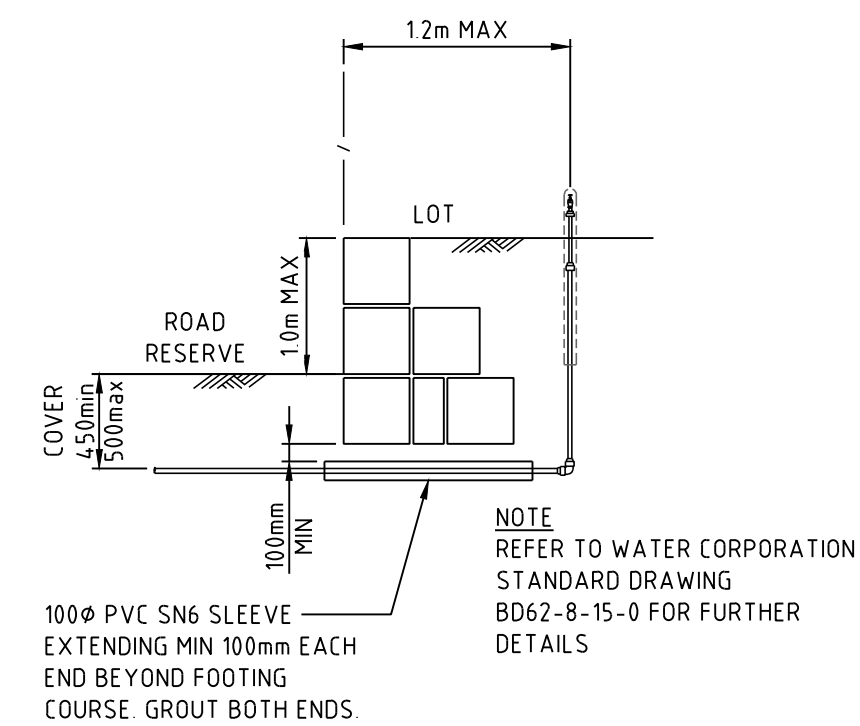
CONNECTION DETAIL No. 3

CONTRACTOR'S RESPONSIBILITY

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CO-ORDINATE THE INSTALLATION OF ALL SERVICES WITHIN THE SUBDIVISION. THE CONSULTANT SHOULD ENSURE THAT THERE IS NO CONFLICT BETWEEN THE POSITIONING OF FULLY PRE-LAID WATER SERVICES WITHIN THE LOT AND AND WESTERN POWER UNDERGROUND POWER CONNECTION PILLARS. THE SUPERINTENDENT SHOULD BE CONSULTED IF AMENDMENTS TO FULLY PRE-LAID SERVICES ARE REQUIRED.

SERVICES

- ALL WATER MAINS SHALL BE INSTALLED ON 2.1m ALIGNMENT EXCEPT AS OTHERWISE AGREED
- FULLY PRE-LAID WATER SERVICES TO BE INSTALLED IN ACCORDANCE WITH W.C. WATER RETICULATION DESIGN STANDARD DS 63 VERSION 3 REVISION 14, SEPTEMBER 2018 AND READ IN CONJUNCTION WITH W.C. STANDARD ARRANGEMENT DRG No.'s BD 62-8-15 AND BD62-8-24
- WATER SERVICE LOCATIONS SHALL BE IN ACCORDANCE WITH THE GUIDELINES FOR POSITIONING CONTAINED IN DRG No. BD62-8-14.
- WHERE POSSIBLE LOTS ARE ARRANGED IN PAIRS WITH A DUAL SERVICE PIPE ENTERING THE RIGHT HAND SIDE OF THE PAIR OF LOTS AND SPLITTING LEFT AND RIGHT TO SUPPLY EACH PAIR OF METERS
- WHERE SHORT AND LONG SINGLE SERVICES ARE INDICATED THE SERVICE PIPE AND METER SHOULD, IF POSSIBLE, BE LOCATED AT THE LEFT HAND SIDE BOUNDARY OF LOTS
- FOR A STRAIGHT ROAD RESERVE, SERVICE PIPES SHALL BE ALIGNED AT RIGHT ANGLES TO FRONT BOUNDARIES, RATHER THAN TO THE SUPPLY WATER MAINS.
- WHERE THERE IS A BEND IN THE ROAD RESERVE AT THE SIDE BOUNDARY, THE SERVICE PIPE SHALL BE POSITIONED PARALLEL TO THE LINE BISECTING THE ANGLE
- FL AND FR (FULLY PRELAID LEFT & RIGHT) INDICATES THE SIDE OF THE LOT WHEN VIEWED FROM THE ROAD FRONTAGE WHICH IS SELECTED FOR ITS METER LOCATION.
- FULLY PRE-LAID WATER SERVICES INSTALLED IN STAIR LANDINGS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD WATER CORPORATION DRG No. BD62-2-9



TYPICAL WATER SERVICE
UNDER RETAINING WALL
N.T.S.

LEGEND

DESCRIPTION	SYMBOL
RETICULATION AREA BOUNDARY	---
PROPOSED MAINS	---
PROPOSED VALVE (No. = 4)	---
PROPOSED HYDRANT (No. = 2)	---
PROPOSED PRELAID LONG SERVICE	---
CHANGE IN PIPE SIZE	---
FLUSHING POINT (No. = 4)	FP
TEMPORARY BLANK END AND FLUSHING POINT (No. =)	TBE
CONNECTION BY WATER CORPORATION (No. = 3)	---
EXISTING MAIN, HYDRANT AND VALVE	---
FUTURE MAIN, HYDRANT AND VALVE	---
FUTURE DISTRIBUTION MAINS	---
PROPOSED RETAINING WALL	---
EXISTING RETAINING WALL	---
DEFERRED SERVICE	'D'
SERVICE LAID IN THIS STAGE FOR RELEASE IN FUTURE STAGE	*
SERVICE LAID IN PREVIOUS STAGE TO BE RELEASED IN THIS STAGE	*
SERVICE UNDER RETAINING WALL	#1
SERVICE IN BELOW GROUND PIT (REFER WC DWG BD62-2-9)	#2

SERVICES	QTY (No.)
PRELAID SHORT DUAL	3
PRELAID LONG DUAL	0
PRELAID SHORT SINGLE	17
PRELAID LONG SINGLE	11
TOTAL	31
TOTAL NUMBER OF LOTS SERVED	34
NUMBER OF DEFERRED SERVICES	0
EXTENSION	QTY (m)
63mm MDPE	0.0
100 P-12	386.2
150 P-12	0.0
200 P-12	0.0
250 P-12	87.3

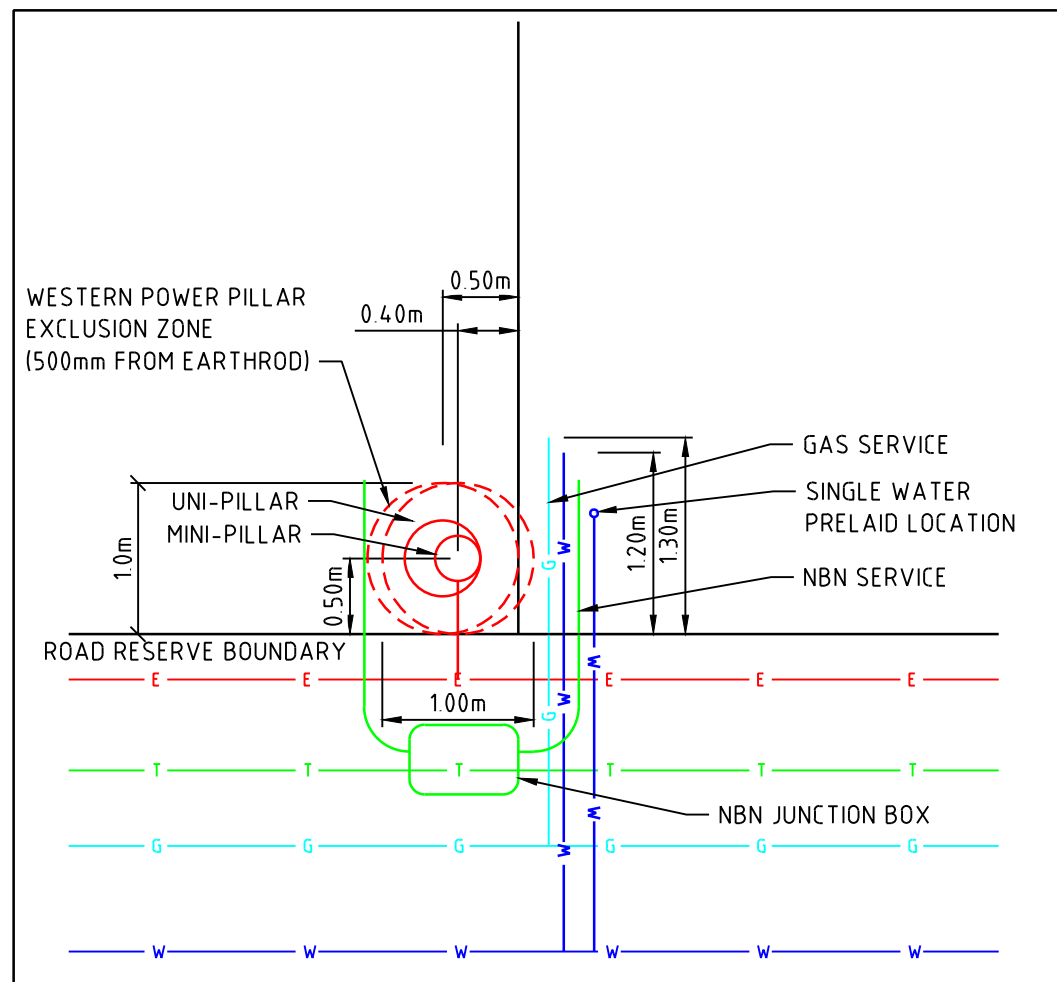
NOTICE TO CONTRACTOR

IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.

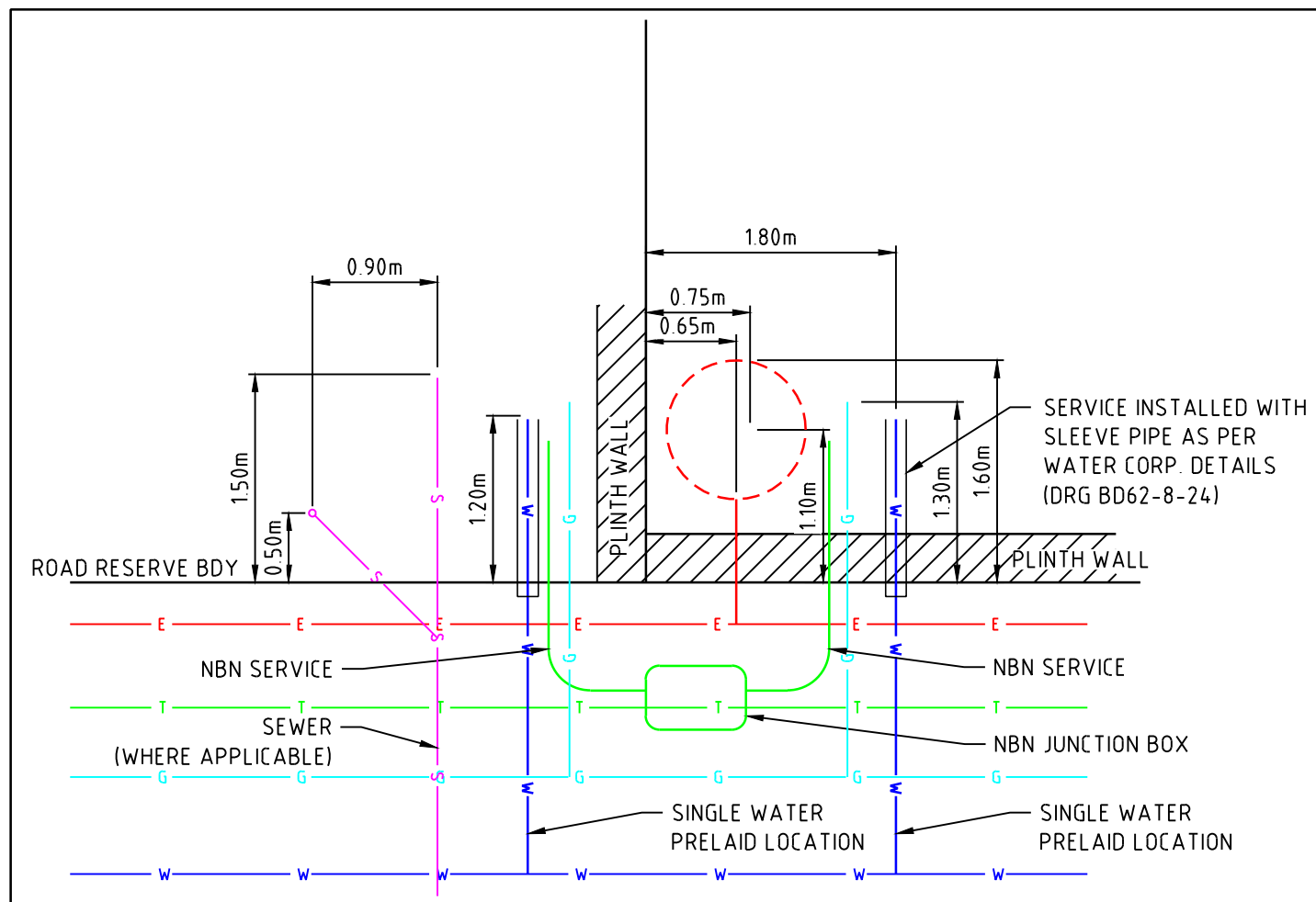
This plan is accepted as complying with overall scheme planning. Compliance with the relevant design standards and manuals remains the responsibility of the Design Engineer.
No works are to commence on site until start-up meeting requirements have been made with the relevant Asset Inspector. Refer to the Developers' Manual for contact details.

NQ26-103-001-01A

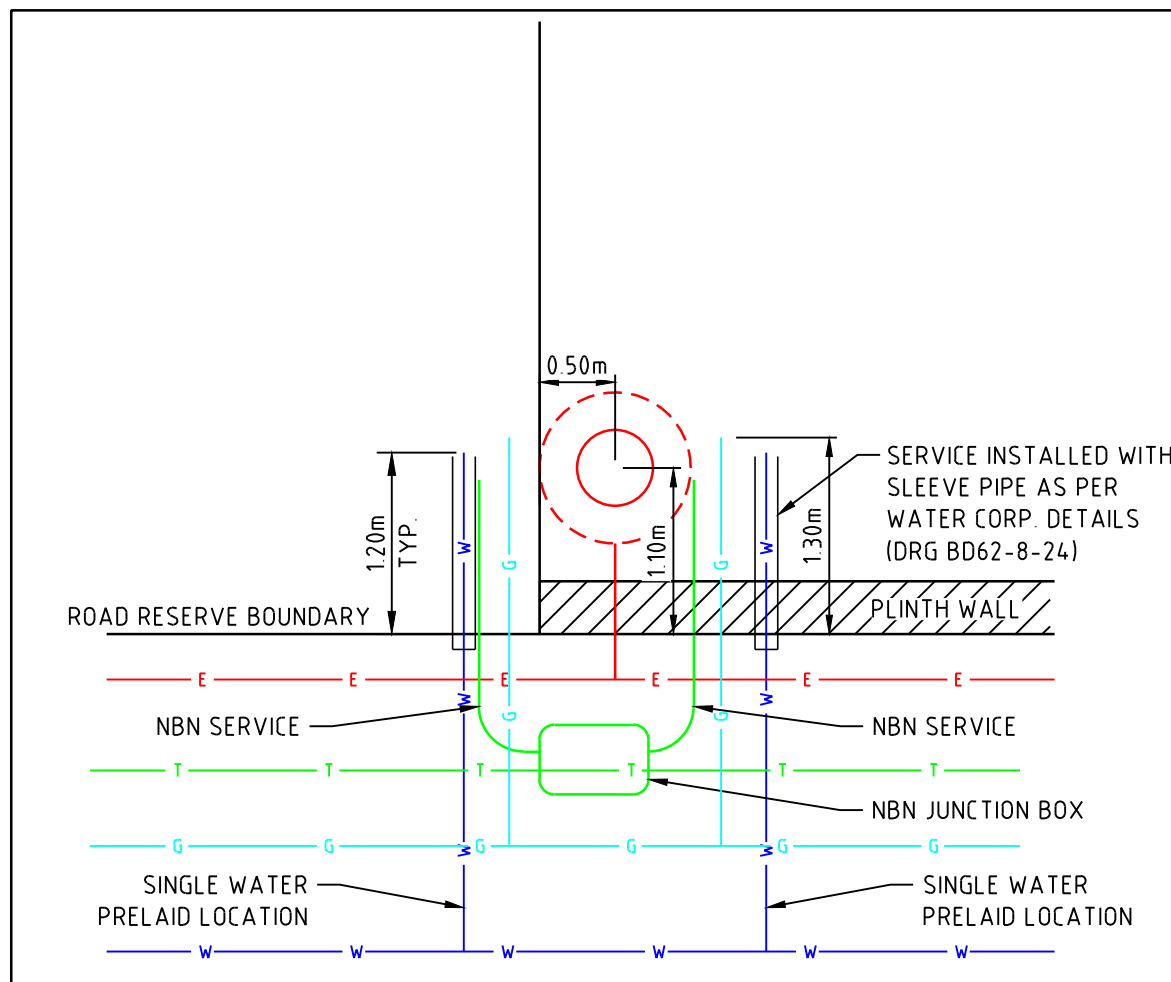
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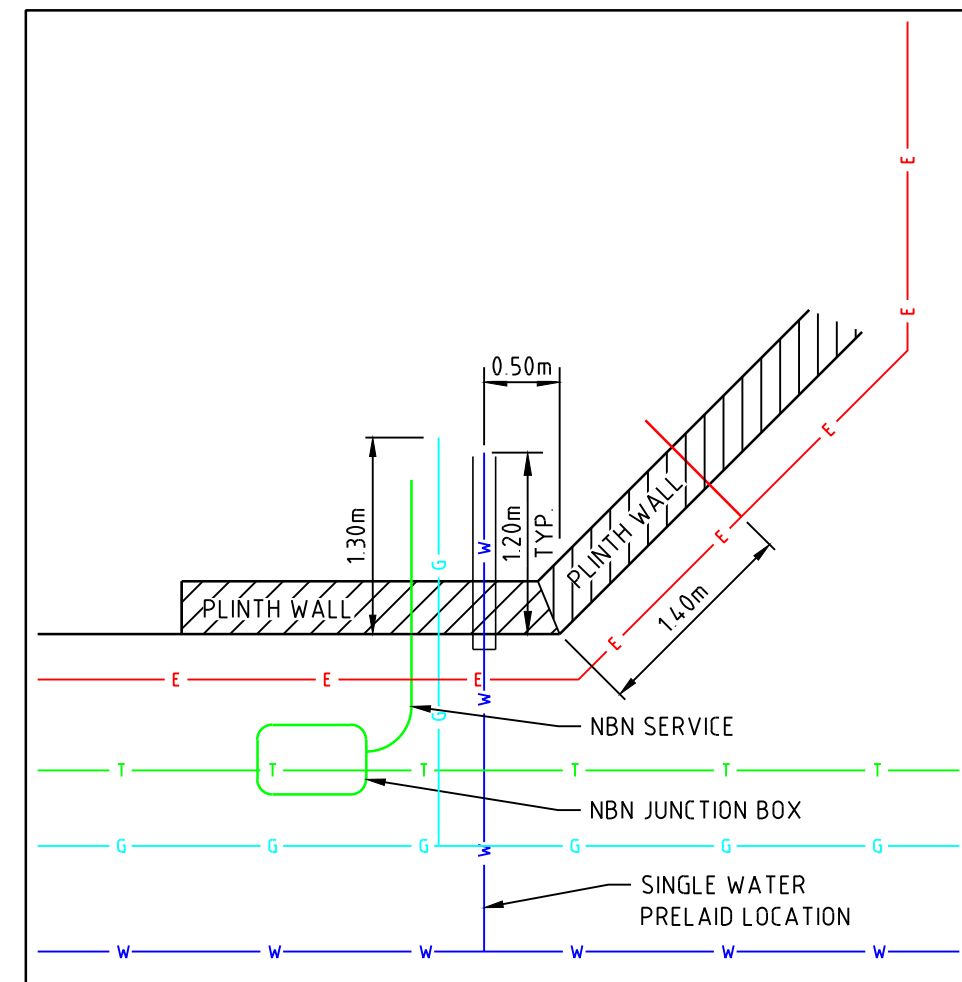
DETAIL #1
TYPICAL SERVICE LOCATIONS PLAN
N.T.S.



DETAIL #2A
SERVICING DETAIL - FRONT PLINTH WALL AND
SIDE RETAINING WALL
SCALE 150

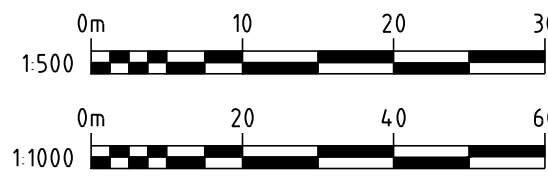
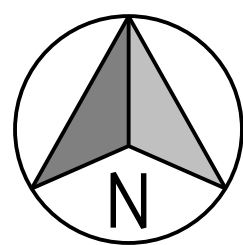


DETAIL #2B
SERVICING DETAIL - FRONT PLINTH WALL AND
NO SIDE RETAINING WALL
SCALE 150



DETAIL #5
SERVICING DETAIL - FRONT PLINTH WALL
ON TRUNCATED LOT
SCALE 150

0	19 05 21	HVD	MH	M. WALLIS	ISSUED FOR WATER CORPORATION APPROVAL AND CONSTRUCTION
B	05 05 21	HVD	MH	M. WALLIS	ISSUED FOR WATER CORPORATION APPROVAL
A	25 03 21	JWD	MH	M. WALLIS	ISSUED FOR WATER CORPORATION REVIEW
REV	DATE	DRN	CKD	APP	AMENDMENT



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APPROVED
myWall

DESIGNED
AAD
SCALE
1:500 1:1000

PROJECT
ELLENBROOK TOWN CENTER - STAGE H4A

TITLE
WATER RETICULATION PLAN

WAPC No.
158428, 158635 & 158021

DRAWING No.
5683-H4A-500

REVISION
0

ORIGINAL
SIZE
A1

Appendix D Vegetation plot photos and descriptions

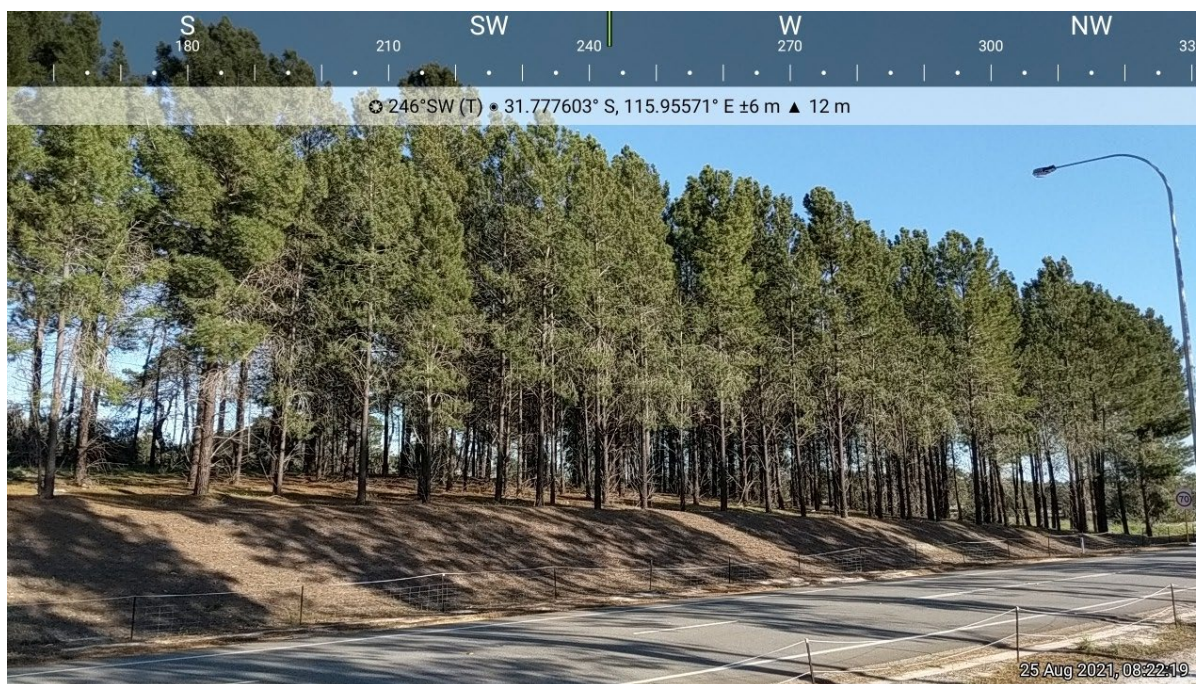


Photo ID: 1a



Photo ID: 1b

Plot number	Plot 1
Vegetation classification	Class A Forest
Description / justification	Forest vegetation comprising a mature pine plantation with deep surface fuels, dense canopy and trees greater than 20 m in height.



Photo ID: 2a



Photo ID: 2b

Plot number	Plot 2
Vegetation classification	Class D Scrub
Description / justification	Shrubs greater than 2 m high; 10–30% foliage cover with a mixed species composition.



Photo ID: 3a

Plot number	Plot 3
Vegetation classification	Excluded – Clause 2.2.3.2 [c]
Description / justification	Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other, or other areas of vegetation being classified vegetation.

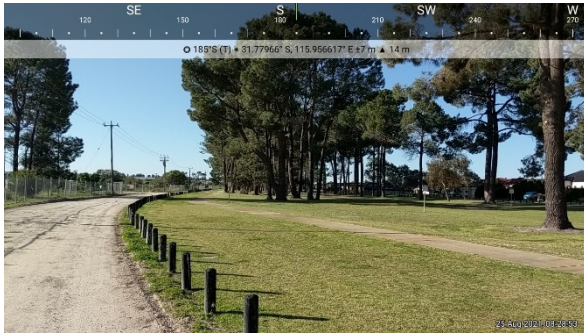


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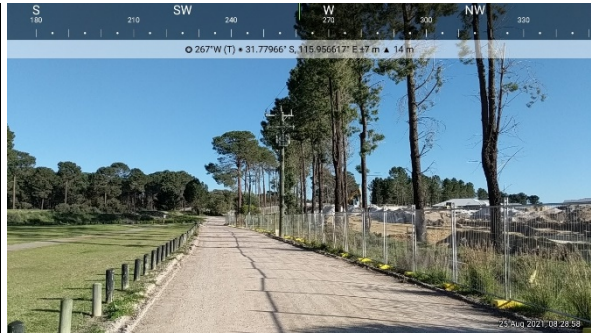


Photo ID: 4b



Photo ID: 4c



Photo ID: 4d



Photo ID: 4e



Photo ID: 4f

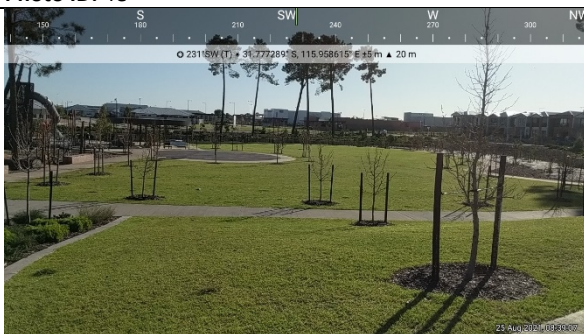


Photo ID: 4g



Photo ID: 4h

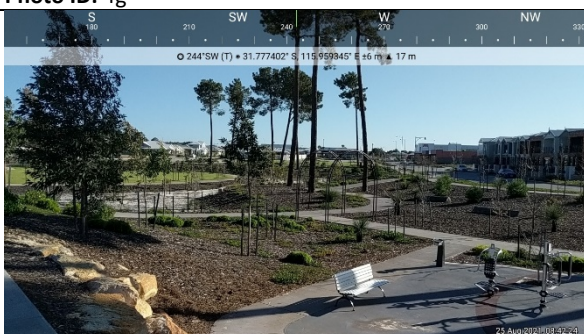


Photo ID: 4i



Photo ID: 4j



Photo ID: 4k

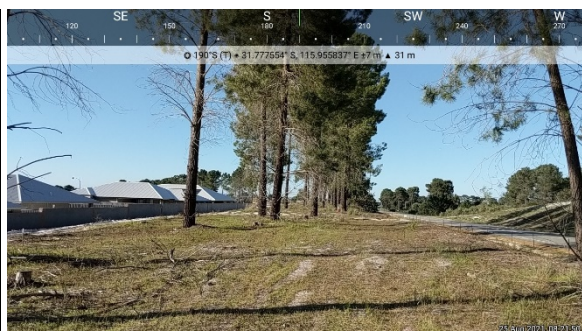


Photo ID: 4l



Photo ID: 4m



Photo ID: 4n



Photo ID: 4o

Plot number	Plot 4
Vegetation classification	Excluded – Non-vegetated and Low threat (Clause 2.2.3.2 [e] and [f])
Description / justification	Existing non-vegetated areas (i.e. cleared staging buffers, cleared vacant lots, cleared roads under construction, roads, mulched areas, paths, playgrounds, driveways) and low threat managed vegetation (i.e. turfed areas, street trees, verge treatments, irrigated/managed portions of POS, managed gardens, slashed road verges).

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Document Status

Report version	Rev No.	Purpose	Author	Reviewed and Approved for Issue	
				Name	Date
Final Report	Rev 0	Issued for use: to facilitate subdivision clearance and accompany building permit applications	Ben Musitano	Zac Cockerill (BPAD 37803, Level 2)	17 September 2021

