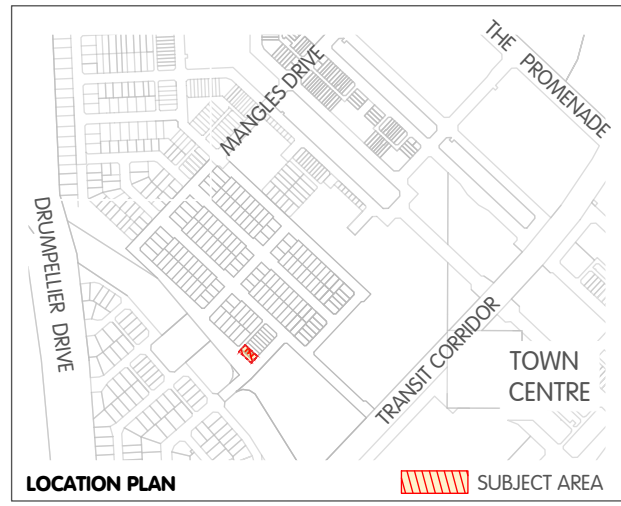


LEGEND

- EXISTING SUBJECT BOUNDARY
- PROPOSED LOT BOUNDARY
- 11973 LOT NUMBER
- NO VEHICULAR ACCESS
- PRIMARY STREET FRONTAGE
- REQUIRED GARAGE LOCATIONS
- RETAINING WALL
- SHARED CROSSOVER LOCATION

SETBACKS

- MIN SETBACKS 0.5m
- MIN SETBACK 1.0m
- MIN SETBACK 1.5m



The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

Principal Planner/ Co-ordinator Statutory Planning

Date CoS Ref:

- LOCAL DEVELOPMENT PLAN STANDARDS**
- The standards outlined in this Local Development Plan (LDP) apply to development on the lots shown on Plan 1. Development is to be in accordance with the Residential Design Codes, except where the following variations apply.
- Built Form**
- Minimum two storey (Category B) and maximum three storey (Category C) building height (refer to R-Codes Table 3 - Maximum Building Heights).
 - 1.0m minimum primary street dwelling setback (no averaging).
 - 0.5m minimum secondary street dwelling setback. A minimum of one major opening on the first floor is to be provided on the secondary street elevation in addition to a minimum of two (2) facade materials (e.g. brick, render, weatherboard) installed to a professional standard to the satisfaction of the City of Swan.
 - Nil minimum balcony setback to primary street.
 - Buildings are permitted up to the corner truncation boundaries, subject to compliance with primary and secondary street setbacks.
 - A boundary wall is permitted along up to 60% of the rear boundary, otherwise a minimum 1.5m setback applies (including balconies).
 - 1.5m minimum primary street garage setback.
 - Boundary walls are permitted to both side boundaries (unless shown otherwise on Plan 1), subject to no maximum length.
 - Boundary walls to be a maximum of 7.0m high and an average of 6.0m high.
 - Outdoor Living Area (OLA) - Single Bedroom Dwellings:
 - Must include at least one balcony or equivalent (minimum dimension 2.4m);
 - Minimum total combined OLA of 10m²;
 - Must be directly accessible from a habitable room; and
 - At least 70% of the OLA must be uncovered (including any area under an eave which adjoins an uncovered area).
 - Outdoor Living Area (OLA) - 2+ Bedroom Dwellings:
 - Must include at least one balcony or equivalent (minimum dimension 2.4m);
 - Minimum total combined OLA of 16m²;
 - Must be directly accessible from a habitable room; and
 - A minimum 35% of the OLA must be uncovered (including any area under an eave which adjoins an uncovered area).
 - No other R-Codes site cover standards apply
 - Built form associated with non-residential land uses must be compatible with surrounding residential development. To ensure this, all developments including non-residential land uses should comply with the relevant R-Codes and R-MD Codes standard for residential development (i.e. setbacks, building heights, visual privacy, open space, street surveillance). For overlooking and surveillance, the R-Codes term for "habitable spaces" shall be interpreted as rooms which are used for active work (i.e. offices, reception areas, workshops) but shall exclude spaces that are not normally counted as "habitable spaces" in dwellings (i.e. bathrooms, kitchens, stairwells, laundries).
- Privacy and Overshadowing**
- The provisions of the R-Codes for overshadowing (solar access) and visual privacy do not apply.
- Vehicle Access and Parking**
- No vehicle crossover wider than 3.0m (for any individual lot) at the street boundary.
 - Mandatory shared and single vehicle crossover locations are depicted on Plan 1.
 - Minimum one on-site parking bay must be provided for dwellings with two or less bedrooms.
- Miscellaneous**
- Minor variations to the requirements of the R-Codes and to the provisions of this LDP may be approved by the City of Swan, in accordance with clause 7.3.1 of the R-Codes.
 - It is noted that these lots are not subjected to any standard R coding (R30, R40, R50 etc). However, there are R code provisions which apply across all R coding which are not otherwise covered in this LDP - including provisions for street surveillance (clause 5.2.3), street walls and fences (5.2.4), sight lines (5.2.5), design for parking spaces (5.3.4), vehicle access (5.3.5), and site works (5.3.7). These shall apply for all development on the lots.
- Storage and Refuse**
- Refuse storage areas shall be screened from the laneway and road.



CADASTRAL INFORMATION
 SOURCE: VERIS/LANDGATE
 YYMMDD: 220629
 DWG REF: dp414279-STC HesperiaDV-29401508
 PROJECTION: PCG84

AERIAL PHOTOGRAPHY
 SOURCE: NA
 YYMMDD: NA



B	MOD GARAGES, FRONTAGES	221025	TG	NT
A	FIRST ISSUE	221007	TG	TT
REV	DESCRIPTION	YYMMDD	DRAWN	APPRD

LDP - HESPERIA STAGE 9 [LOTS 12016-12018]
TOWN CENTRE
 City of Swan

REF NO.	DRAW NO.	REV.
EJV TWC	RD1 436	B

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY