

LOCAL DEVELOPMENT PLAN R-CODE VARIATIONS

The Local Town Planning Scheme and R-Codes are varied in the following manner:

General

1. All lots within this Local Development Plan are coded as per the approved Density Sites Plan.
2. The requirements of the R-Codes and the RMD Codes (as applied through the City's Local Planning Policy POL-LP-11) are varied as shown on this plan.
3. The requirements of the R-Codes, RMD Codes and Town Planning Scheme shall be satisfied in all other matters.
4. Consultation with adjoining or other landowners to achieve a variation to the R-Codes, in accordance with the approved Local Development Plan, is not required.
5. Minor variations to the requirements of this LDP may be approved by the City of Swan.

Storage and Refuse

6. Refuse storage areas shall be screened from the laneway and road.

Car Parking and Access

7. For corner lots, the crossover/garage is to be located the maximum distance from the truncation as possible (subject to engineering constraints).
8. For Lots 8.5m wide lots, garages on single storey dwellings shall not exceed 3.5 metres in width. A double garage is permitted for double storey dwellings provided a habitable room overlooks the primary street and the crossover does not exceed 4.5m in width.

Built Form

9. For all developments which include non-residential land uses: the Development Application (DA) shall include an Acoustic report to demonstrate how the proposed development has been acoustically assessed and designed for the purpose of minimizing the effect of noise intrusion and / or noise emissions.
The acoustic report shall be prepared by an acoustic consultant to the satisfaction of the City and address all matters that are required to demonstrate that the acceptable noise criteria will be achieved including:
 - The identification of all noise sources to be addressed, including air conditioning, refrigeration and exhaust units;
 - The establishment of Assigned Levels for noise sensitive premises in the vicinity in accordance with the Environmental Protection (Noise) Regulations 1997;
 - A detailed description of the construction measures that are required to be included, or which have been included, in the proposed development to achieve noise levels prescribed in the Noise Regulations.
 - For external noise sources, a description of the measures that are required to be included, or which have been included, in the proposed development to comply with the Environmental Protection (Noise) Regulations 1997.
10. Lots 11740-11744 and Lot 11499 shown on this LDP are affected by Quiet House Design Package A requirements due to noise from Drumpellier Drive. Dwellings on these lots must be constructed in accordance with additional controls as specified in *Hesperia Subdivision Traffic Noise Assessment* (Herring Storer, Dec 2019). A copy of the report is available from City of Swan or the developer.
11. Lots 11740-11744 and Lot 11499 shown on this LDP are subject to an approved Bushfire Management Plan (Strategen, July 2019) and dwelling construction must be in accordance with approved BMP requirements. At the discretion of the City of Swan and prior to building construction, Bushfire Attack Level (BAL) ratings may be reassessed for individual lots.
12. Built form associated with non-residential land uses must be compatible with surrounding residential development. To ensure this, all developments including non-residential land uses should comply with the relevant R-Codes and R-MD Codes standard for residential development (i.e. setbacks, building heights, visual privacy, open space, street surveillance). For overlooking and surveillance, the R-Codes term for "habitable spaces" shall be interpreted as rooms which are used for active work (i.e. offices, reception areas, workshops) but shall exclude spaces that are not normally counted as "habitable spaces" in dwellings (i.e. bathrooms, kitchens, stairwells, laundries).



LOCATION PLAN

SUBJECT LOTS

LEGEND

- SUBJECT PROPERTY BOUNDARIES
- SURROUNDING PROPERTY BOUNDARIES
- NO VEHICLE ACCESS
- GARAGE SETBACK (DISTANCES VARY AS SHOWN)
- PROPOSED ROAD CARRIAGEWAY
- PRIMARY STREET DWELLING ORIENTATION
- QUIET HOUSE DESIGN PACKAGE A
- BUSHFIRE MANAGEMENT
- DESIGNATED GARAGE LOCATION

CITY OF SWAN

APPROVED

LOCAL DEVELOPMENT PLAN

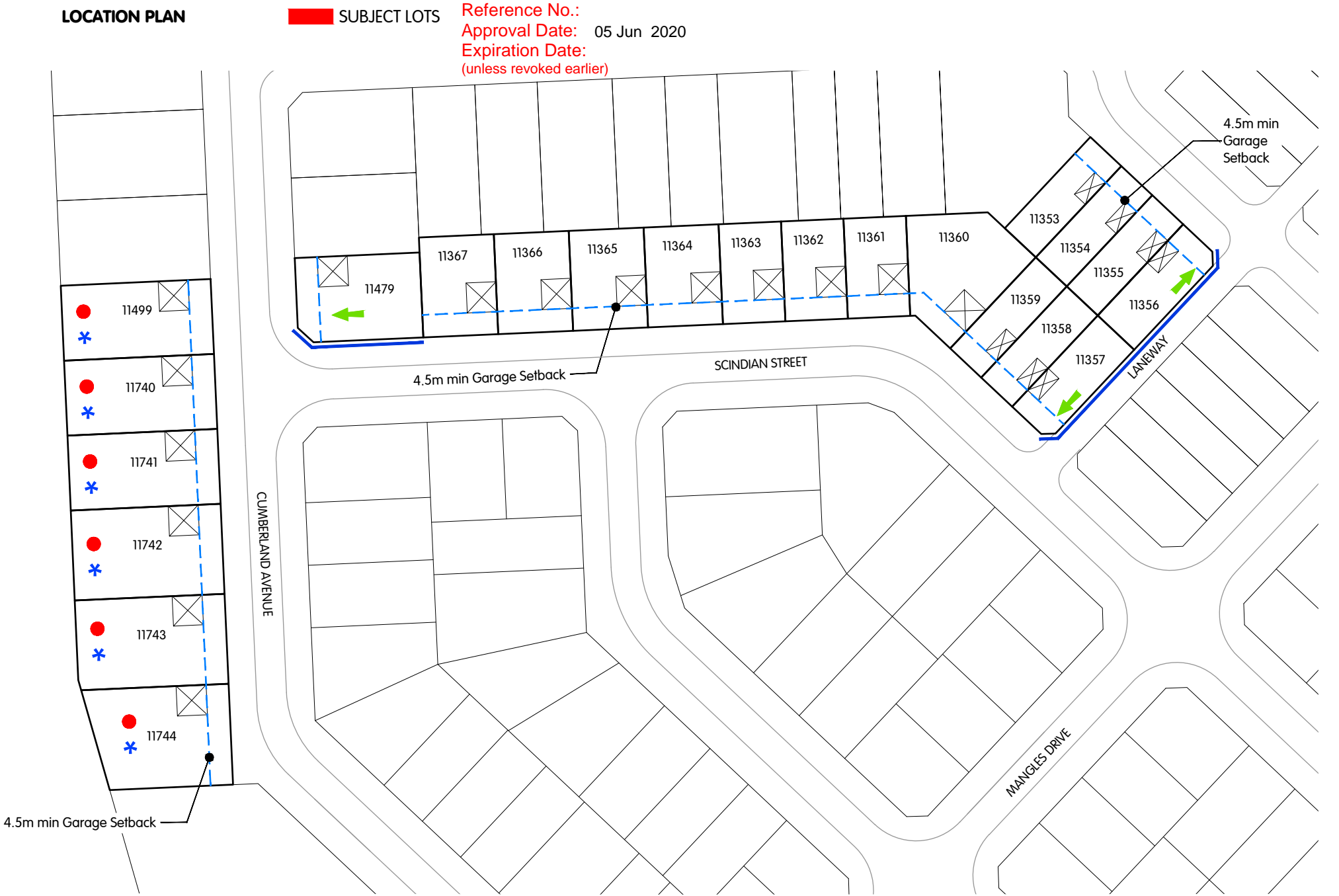
Reference No.: LDP/10/2020

Approval Date: 05 Jun 2020

Expiration Date: 05 June 2030
(unless revoked earlier)

Delegated Authority Officer:

John Elliott



CADASTRAL INFORMATION
SOURCE: VERIS (WHELAN)
YYMMDD: 200120
DWG REF: town_centre-200120-trunpcg84
PROJECTION: PCG84

AERIAL PHOTOGRAPHY
SOURCE: NA
YYMMDD: NA



SIZE A3 1:1000
0 metres 10 20 30 40 50

HESPERIA PORTION STAGE 4 - LOCAL DEVELOPMENT PLAN									
Lots 11353-11367, 11479, 11499 & 11740-11744 Hesperia, Ellenbrook Town Centre, City of Swan									
E	PROVISIONS UPDATED	200521	SB	EH					
D	PROVISIONS UPDATED	200306	SB	TT					
C	UPDATE GARAGE LOCATIONS	200303	II	TT					
B	VARIOUS UPDATES	200212	HH	EVDL					
REV	DESCRIPTION	YYMMDD	DRAWN	APPR'D					
				REF NO.	DRAW NO.		REV.		
				EJV TWC	RD1 427		E		

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6 Refuse storage areas shall be screened from the laneway and road

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8. For all developments which include non-residential land uses, the Development Application (DA) shall include an Acoustic report to demonstrate how the proposed development has been acoustically assessed and designed for the purpose of minimizing the effect of noise intrusion and / or noise emissions.

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9. Built form associated with non-residential land uses must be compatible with surrounding residential development. To ensure this, all developments including non-residential land uses should comply with the relevant R-Codes and R-MD Codes standard for residential development (i.e. setbacks, building heights, visual privacy, open space, street surveillance). For overlooking and surveillance, the R-Codes term for "habitable spaces" shall be interpreted as rooms which are used for active work (i.e. offices, reception areas, workshops) but shall exclude spaces that are not normally counted as "habitable spaces" in dwellings (i.e. bathrooms, kitchens, stairwells, landrises).

Date 5 July 2022 Cos Ref: LDP/2/2021/A



SIZE A3 1:500

REF NO. DRAW NO. REV.
EJV TWC RD1 430 B

Document Set ID: 7246211
Version: 4, Version Date: 18/06/2022

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11. Lots 11762-11765 shown on this LDP are affected by Quiet House Design Package A requirements due to noise from Drumpellier Drive. Dwellings on these lots must be constructed in accordance with additional controls as specified in *Hesperia Subdivision Traffic Noise Assessment* (Herring Storer, Dec 2019). A copy of the report is available from City of Swan or the developer.

LEGEND

SETBACKS

4.5m MINIMUM FRONT GARAGE SETBACK

GARAGE ACCESS

DESIGNATED GARAGE LOCATION

NO VEHICLE ACCESS

PRIMARY STREET DWELLING ORIENTATION

QUIET HOUSE DESIGN PACKAGE A

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

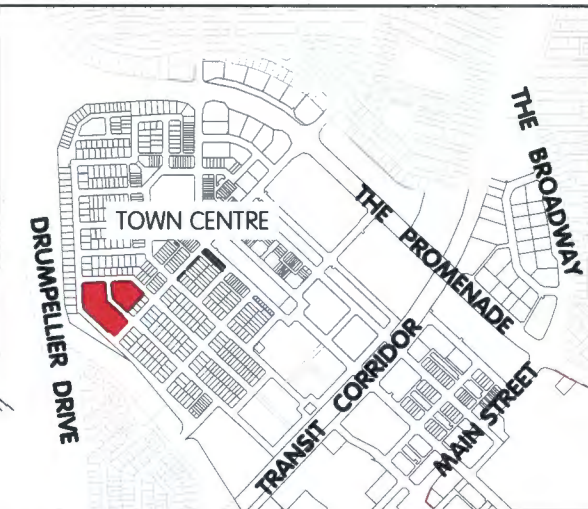
Principal Planner/ Co-coordinator Statutory Planning

Date

14/7/21

CoS Ref:

LDP-11/2021



LOCATION PLAN

SUBJECT LOTS



CADASTRAL INFORMATION
SOURCE: VERIS (WHELAN)
YYMMDD: 200120
DWG REF: town_centre-200120-trunpcg84
PROJECTION: PCG84
AERIAL PHOTOGRAPHY
SOURCE: NA
YYMMDD: NA

HATCH | RobertsDay

SIZE A3 1:1000
0 metres 10 20 30 40 50

B ANNOTATIONS REMOVED
A BASE PLAN
REV DESCRIPTION

210902 SB TT
210611 AR TT
YYMMDD DRAWN APPR'D

LOCAL DEVELOPMENT PLAN HESPERIA - STAGE 4B
Lots 11745-11771 + 11776-11780 Hesperia, Ellenbrook Town Centre,
City of Swan

REF NO. DRAW NO. REV.
EJV TWC RD1 431 B

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY