



RESERVE FOR RECREATION

4.5m GARAGE SETBACK

3.0m MIN DWELLING SETBACK

RESERVE FOR RECREATION

1.5m MIN SIDE SETBACK

**LEGEND**

- SUBJECT PROPERTY BOUNDARIES
- SURROUNDING PROPERTY BOUNDARIES
- 8740 LOT NUMBER
- NO VEHICLE ACCESS
- ⊗ DESIGNATED GARAGE LOCATION (DOUBLE)
- BUSHFIRE MANAGEMENT

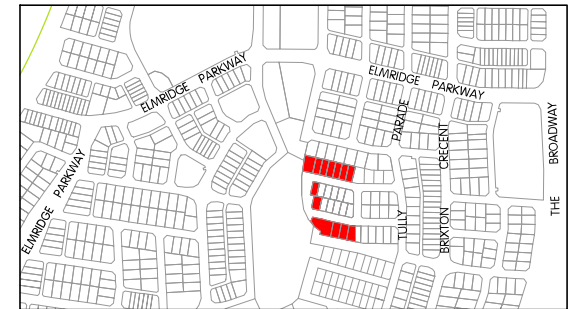
- SETBACKS
- 6.0m MIN GARAGE SETBACK
  - 4.0m MIN DWELLING SETBACK
  - 3.0m MIN REAR DWELLING SETBACK
  - 2.0m MIN DWELLING SETBACK (UNLESS OTHERWISE NOTATED)

Amendment No.	Summary of Amendment	Date endorsed by Local Government
1	Incorporation of front setback provisions for lot 8864 - 8868, 11577 and 11578	



The Local Town Planning Scheme and R -Codes are varied in the following manner:

1. The R-Code for each lot is as per the prevailing Density Sites Plan.
2. The requirements of the R-Codes are varied as shown on the plan.
3. The requirements of the R-Codes and the Scheme shall be satisfied in all other matters.
4. Consultation with adjoining or other landowners to achieve a variation of the R-Codes, in accordance with the approved Local Development Plan is not required.
5. There is no average front setback requirement for all lots subject to this Local Development Plan.
6. Building Envelopes are subject to the constraints of retaining walls. The landowner is to consult their builder or structural engineer where necessary.
7. At least one habitable room opening must overlook the primary street.
8. On corner lots, a nil side setback to the secondary street is not permitted.
9. A verandah (subject to the Building Code of Australia) may not project not more than one metre into the front setback area (excluding Lots 8740-8743).
10. Lots 11577-11583, 8740-8743 and 8864-8867 shown on this LDP are subject to an approved Bushfire Management Plan (Strategen, August 2019) and dwelling construction must be in accordance with the approved BMP requirements (BAL 12.5/BAL19). At the discretion of the City of Swan and prior to building construction, Bushfire Attack Level (BAL) ratings may be reassessed for individual affected lots.
11. Minor variations to the requirements of the Residential Design Codes and this LDP may be approved by the City of Swan.



LOCATION PLAN

■ SUBJECT LOTS

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

*Lyn Bridges*

Lyn Bridges

DELEGATED OFFICER  
STATUTORY PLANNING

Date 04 September 2023

CoS Ref: LDP-16/2021/B



CITY OF SWAN  
**REVISED PLAN**  
04 Sep 2023

CAADSTRAL INFORMATION  
SOURCE: VERIS  
YYMDD: 190924  
DWG REF: annie-190924-trun\_pcg84  
PROJECTION: PCG84

AERIAL PHOTOGRAPHY  
SOURCE: NA  
YYMDD: NA

**HATCH** | RobertsDay



REV	DESCRIPTION	YYMDD	DRAWN	APPR'D
H	ADD AMENDMENT TABLE + BAL REQ	230801	SB	TT
G	ADD SETBACKS TO NTH'N LOTS	230711	SB	TT
F	NEW PROV MODS & NO VEHICLE ACCESS	221020	SB	TP
E	ADD NOTATION - SIDE SETBACK	220808	SB	TT

LOCAL DEVELOPMENT PLAN - HILLSIDE, STAGE 4  
Stage 4 Malvern Springs - Ellenbrook  
City of Swan

REF NO. DRAW NO. REV.  
EJV VL6 RD1 322 H