

*Annie's Landing*  
**Village  
Centre**

*Commercial Opportunity*

Lot  
**9462**

  
ellenbrook

# Location Overview

Established and connected, Ellenbrook is Australia's most-awarded master-planned community. Comprised of eight villages surrounding a bustling town centre, it is designed to be a self-sustainable community with employment, education, entertainment, shopping and community services all within the town.

Its picturesque location in the Swan Valley, adjoining Australia's second oldest wine-growing region, makes it a popular choice for young couples and families, with a current population of approximately 30,000\*.

Located just 20 minutes from Midland and 24 minutes from Joondalup, Ellenbrook's positioning has been further enhanced thanks to immediate access to Tonkin Highway, which connects residents to the Perth CBD in just 30 minutes. This will be further complemented by the extension of the State's Metronet project, a new 21-km train line due to be completed in 2025 connecting Ellenbrook to the Perth CBD via eastern suburbs.



Ellenbrook population  
30,000



Popular choice for young  
couples and families



Perth CBD  
30 mins away

\*<https://abs.gov.au/census/find-census-data/quickstats/2021/SAL50482>

# Commercial Site



Adjoining childcare

Anne Hammersley Primary School

Shared access

Dunnett Park



# Lot Details

<b>Lot Number</b>	Lot 9462
<b>Lot Size</b>	7694m <sup>2</sup>
<b>Relevant Planning Documents</b>	City of Swan Local Planning Scheme No. 17 (LPS17) The Vines Ellenbrook Stage 7B Local Structure Plan (7BLSP)
<b>Zoning</b>	City of Swan LPS17: Special Use – Ellenbrook Estate The Vines 7B LSP: Special Purpose - Village Centre R-60
<b>Permissible Land Uses</b> (As per Endorsed Annie's Landing Local Structure Plan No. 18 2018)	D land uses  Cultural Use Dwelling Aged or Dependent Persons Dwelling Grouped or Multiple Educational Establishment Funeral Parlour Health Centre Health Studio Car Park Civic Building Child Care Club Premises Consulting Rooms and Consulting Rooms Grouped Lunch Bar Medical Centre Museum Office: General Public Amusement Recreation Public Recreation Private Restaurant Shop Any Other Uses Not Listed
<b>Additional Information</b>	State Planning Policy 3.7 Planning in Bushfire Prone Areas



*The site would service Annies Landing and Equis Lake, totaling around 1600 lots, as well as the adjacent suburb of The Vines. Residents currently have no retail options, the nearest shop corner is located on Maffina Parade, a 7 minute drive away.*



*The site is located next to a childcare facility and opposite a primary school with 640 students, as well as a popular park. This close proximity ensures easy access for parents and potential customers.*



*The District Structure Plan for North Ellenbrook East and West, approximately 1km from the site, has been approved and proposes around 10,000 lots.*

# Development Plan



**Legend:**

- Structure Plan Boundary
- Residential
- Special Purpose - Village Centre
- Primary School
- Drainage
- Public Open Space (POS)



# Design Guidelines

## Setbacks and Building Orientation

Banrock Drive and Dunnett Drive are deemed as the primary frontages.

For further information please refer to the Detailed Area Plan on page 6.

## Built Form

### Character

Annies Landing is inspired by Perth's Avon Valley and its diverse range of architectural styles from the Australian Colonial period through to the second World War as well as a Spanish influence found in New Norcia.

The planning and design principals of Annies Landing are drawn from the Avon Valley's many small townships to create a traditional, rural town look and feel.

Buildings within the Village Centre shall compliment the built form style of residential homes in the adjacent Annies Landing Village.

Buildings shall frame Banrock Drive and Dunnett Drive and incorporate elements such as wide, continuous verandahs or colonnades and traditionally pitched or flat roofs. Detailing elements including gables, decorative parapet walls, rendered or face brick plinths, quoining and fretwork are encouraged as well as using a mix of materials to create visual texture.

Ensure all elevations are well detailed a presentable from public view.

- The development shall frame the corner of Banrock Drive and Dunnett Drive contributing to the creation and activation of the Village Centre.
- Buildings shall reflect the Village Centre location by achieving an urban (not suburban) scale and form whilst complimenting the architectural style of the village. The use of parapets is strongly encouraged.
- Articulation of walls shall be provided to avoid large expanses of blank façade.
- Architectural features, colours and materials shall reflect a civic character.
- A verandah or colonnade shall form part of the built form fronting Banrock Drive and Dunnett Drive and corner of Janselling Avenue as per the DAP.
- Verandah's or colonnades should be sized between 1.5m and 3.0m deep and have a minimum canopy zone of 3.0m above ground level.
- Sufficient openings with unobstructed glazing shall be provided to Banrock Drive and Dunnett Drive. Unobstructed glazing shall comprise of a minimum 20% of the total building frontage.
- An active frontage along Banrock Drive and Dunnet Drive shall include usable footpath areas that may be adapted for alfresco dining.



*Existing residential built form in Annies Landing*



*A continuous verandah provides sufficient pedestrian shelter whilst contributing to the village's character*



## Materials and Colour

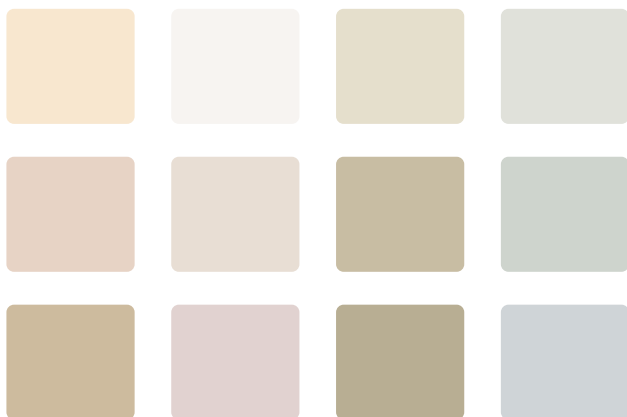
- Ensure building facades incorporate a variation of materials and are well detailed.
- The use of rendered brick, face brick in red/auburn tones (preferably handmade), Toodyay or approved replica stone, weatherboard, glazing and timber is preferable. Other materials may be accepted provided they are consistent with the architectural style.
- The use of textured panels such as precast moulded and patterned panels is permitted, however shall not be the dominating finish to facades fronting Banrock Drive and Dunnett Drive.

An analogous palette shall be used with accent colours. Variations in colour shall be kept to a minimum although accent colours may be used to highlight elements.

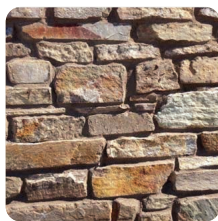
To compliment the surrounding housing style, a portion of facades shall be painted light cream.

Architectural detail and trim shall be coloured to integrate with the overall building design (eg. Columns, window frames, gutters, fascia's downpipes etc).

## Preferred Colour Palette



*Handmade and tumbled Facebrick*



*Toodyay Stone*

## Roofs

Roofs must be pitched or flat. Flat roofs must be screened behind a decorative parapet wall.

- Roofs shall be lightly coloured consistent with the preferred colour palette. Black, dark blue, red and green roofs are not permitted.
- Tiled roofs are not permitted, roof sheeting such as metal deck shall be used.
- Skillion roofs (straight edge or bullnose) are permitted to verandahs and collonades.
- Curved roofs are not permitted.

Variations may be considered subject to approval by EMPL.

## Entries and Frontage

- Clearly defined entries within the built form shall be accessed via legible pathways. Entries shall be sheltered from sun, wind and rain and be well lit for safety and legibility.
- Landscape treatment to the Building exclusion zone should incorporate a paved area with a focal point such as mature trees, artwork and/or street furniture that invites a strong community presence. This location also provide a connection to the POS and pavilion opposite.

## Height

- Buildings shall reflect a civic style with increased wall/plate heights of a minimum 5 metres.
- Built form above verandahs or awnings shall be well detailed and articulated.

### Signage

- Main signage shall be incorporated into the fabric of buildings where possible.
- Directional signage shall be consistent throughout the development (ie. logos, colours, font sizes and materials).

### Building Access and Parking

- Clearly defined pedestrian pathways shall be given priority through parking areas
- Direct and continuous walkways to all building entrances shall be provided as well as sufficient lighting.
- Pedestrian pathways should be provided with protection from the elements where possible
- Parking access is available from Princep Grange and Janselling Avenue, refer to DAP.
- The Princep Grange crossover is shared with the childcare under a Reciprocal Rights Agreement.

### Landscape and Lighting

- Landscape design visible from public spaces should be congruous with the overall Annie's Landing landscape character.
- Landscape and paving should be designed to reflect a civic identity and unify buildings.
- The landscape treatment on the Dunnett Drive bend within the building exclusion zone should incorporate a paved area with a focal point such as mature trees, artwork and/or street furniture that invites a strong community presence.
- The introduction of art works that reflect the spirit of the Annie's Landing theme is strongly encouraged.
- Appropriate landscaping shall be incorporated into car parking areas to provide shade protection.
- Tree planting within the carpark shall be at a rate of one tree per 6 bays.
- Deciduous trees are recommended to comprise of 70-80% of the proposed tree landscape, with evergreen planting used only as accents or features.
- Plant species should be drought tolerant and low in water and fertilizer requirements.
- Sufficient lighting shall be provided to all car parking areas, landscaping and throughout buildings for safe access during all hours.

Landscape plans and species selection are subject to EMPL approval

### Fences and Walls

- Fencing between buildings should be visually permeable and must not be located forward of building lines.
- Proposed walls and fencing shall be designed to compliment the overall development.

### Sustainability

EMPL support best practice energy efficient design and sustainability principles.

### Services

- Integrate service elements into the roof design or hidden behind parapets and screen walls so they are not visible from the primary street.
- The colour of air conditioners, evaporative coolers and solar hot water systems shall be integrated with the main roof.
- Rubbish disposal containers shall not be visible from any public street, thoroughfare or open space and shall be located within a screened compound on non collection days.

# Services Plan

Lot 9462 is located on the corner of Banrock Drive and Dunnett Drive in Annies Landing. WAPC 157922 is expired.

## 1. Sewer reticulation

- Single DN150 property connection on Banrock Drive.

## 2. Water reticulation

- Deferred service connections with DN250 water reticulation main in Banrock Drive and Dunnett Drive.

## 3. Underground power

- Allowance for 214A from transformer

## 4. NBN / Communications connection available

## 5. Gas reticulation available

## 6. Roadworks

- On the eastern boundary of the site, Warburton Drive has been created as a gazette road reserve and is functioning as a pedestrian access way. Future development of road is at the discretion of purchaser. All works and associated costs by purchaser.





**Contact**

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