

Pinaster Parade

Ellenbrook Town Centre

Lot
8797

Commercial Opportunity


ellenbrook

Location Overview

Established and connected, Ellenbrook is Australia's most-awarded master-planned community. Comprised of eight villages surrounding a bustling town centre, it is designed to be a self-sustainable community with employment, education, entertainment, shopping and community services all within the town.

Its picturesque location in the Swan Valley, adjoining Australia's second oldest wine-growing region, makes it a popular choice for young couples and families, with a current population of approximately 30,000*.

Located just 20 minutes from Midland and 24 minutes from Joondalup, Ellenbrook's positioning has been further enhanced thanks to immediate access to Tonkin Highway, which connects residents to the Perth CBD in just 30 minutes. This will be further complemented by the extension of the State's Metronet project, a new 21-km train line due to be completed in 2025 connecting Ellenbrook to the Perth CBD via eastern suburbs.



 **Ellenbrook population**
30,000

 **Popular choice for young couples and families**

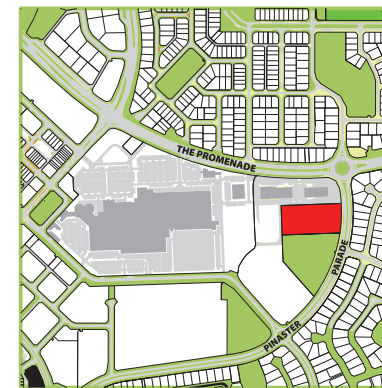
 **Perth CBD**
30 mins away















*<https://abs.gov.au/census/find-census-data/quickstats/2021/SAL50482>

Commercial Site



Sales Plan



- House Pad Levels 
- Footpath 
- Gas House Connection (Preliminary position only) 
- Drainage 
- NBN Pit Site (Preliminary position only) 
- Electricity Dome (Preliminary position only) 
- Street Light (Preliminary position only) 
- Power Switch Box Site (Western Power) 
- Water Connection 
- Sewer Line 
- Retaining Wall 
- Decorative Plinth Walls 
- Department of Housing Rental Housing Programme 
- Garage Locations 

July 2024

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and should not be taken as a representation in any respect on the part of the vendor or its agent.

Lot Details

Lot Number	Lot 8797		
Lot Size	11352m ²		
Relevant Planning Documents	City of Swan Local Planning Scheme No. 17 (LPS17) Ellenbrook Town Centre Development Plan (Amendment No. 5)		
Zoning	City of Swan LPS17: Special Use – Ellenbrook Estate Town Centre Development Plan: Retail		
Permissible Land Uses (As per Endorsed Ellenbrook Town Centre Development Plan – Amendment No. (2023))	"P" Land Uses	"D" Land Uses	"X" Uses
	Cinema/theatre Convenience Store Fast Food Outlet Medical Centre Restaurant Shop Tavern	<ul style="list-style-type: none"> • Car Park • Car Sales Lot • Car Sales Showroom • Car Wash Station • Civic Building • Consulting Rooms and Consulting Rooms Grouped • Cultural Use • Multiple Dwelling • Education Establishment • Funeral Parlor • Hospital • Motor Vehicle Report • Exhibition Centre • Gordon Centre • Office • Service Station • Showroom • Veterinary Centre • Warehouse • Any use not listed above 	<ul style="list-style-type: none"> • Industry: Service, Light or Cottage Building • Factory Tenement Building • Dwelling: Single House (more than 2) • Dwelling: Grouped (more than 2) • Dwelling: Attached House (more than 2) • Dwelling: Attached House Grouped (2 only) multiple • Dwelling: Aged or Dependent Persons



Located in bustling Ellenbrook Town Centre



Adjacent to ALDI Supermarket



Adjacent and accessible to Ellenbrook Central Shopping Centre



View the Ellenbrook Town Centre General Design Guidelines

URL: ellenbrook.com.au/media/fa4pyx4k/ellenbrook-design-guidelines.pdf

Services Plan

1. Sewer Reticulation

- Single property connection is to be provided on the Northern boundary.

2. Water Reticulation available

3. Underground Power

- A transformer will be installed on the South Eastern corner of the lot. 630kVA transformer included.

4. NBN /Communications available

- NBN pit and pipe available in the Eastern verge of Pinaster Parade. No lead in conduit provided, to be provided by purchaser if required.

5. Gas Reticulation available

6. Stormwater Drainage

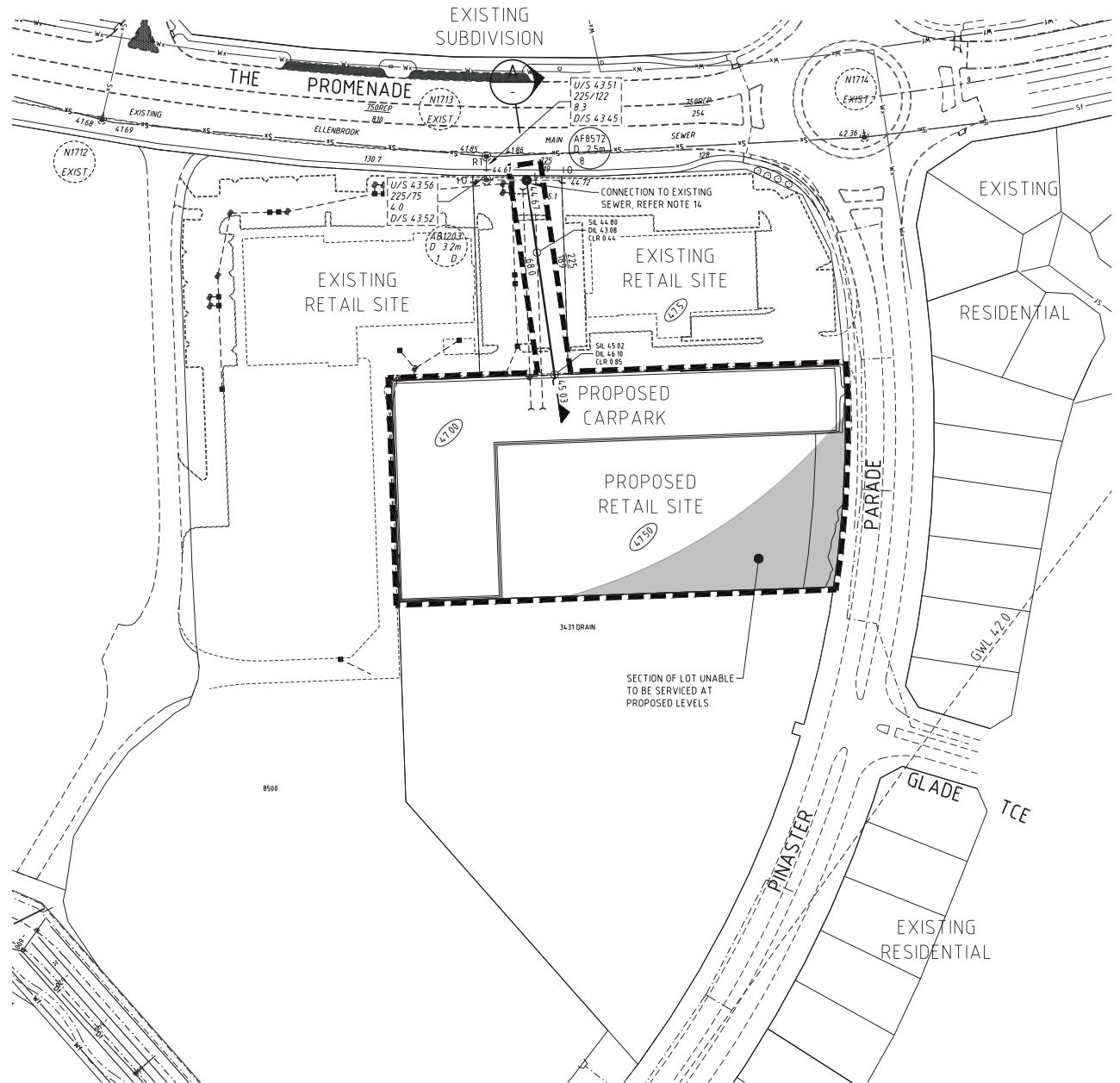
- An extension of stormwater drainage infrastructure through the site to the drainage basin to the South will be completed by the Seller.
- The stormwater drainage infrastructure will require an easement to the benefit of the City of Swan. This infrastructure can be located underneath a car park but the configuration of the site would need to be known and approved before the Seller agrees to install the infrastructure. This would either be done by the Buyer obtaining a DA on the parent title or the Buyer signing a binding agreement confirming their desired location for the infrastructure.
- A title won't be created until the stormwater drainage infrastructure is in and the easement is in place.



Sewer Reticulation Plan

Legend:

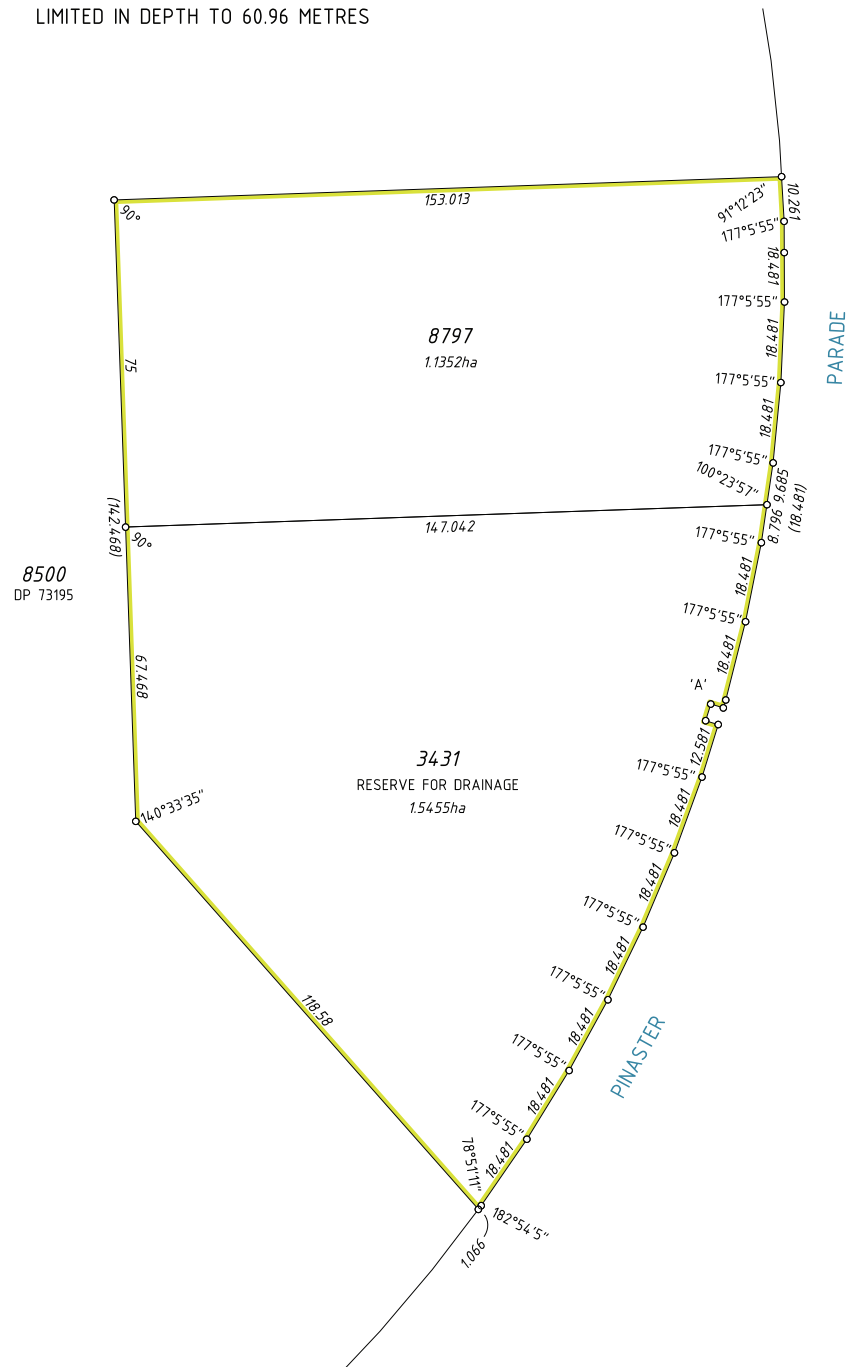
DESCRIPTION	SYMBOL
RETICULATION AREA BOUNDARY	
PROPOSED GRAVITY SEWER AND ACCESS CHAMBER OR MAINTENANCE SHAFT	
EXISTING GRAVITY SEWER	
FUTURE GRAVITY SEWER	
ACCESS CHAMBER NUMBER	
ACCESS CHAMBER DEPTH	
ACCESS CHAMBER TYPE	
DROP ACCESS CHAMBER	
UPSTREAM INVERT LEVEL	
PIPE DIAMETER / GRADE	
PIPE LENGTH	
DOWNSTREAM INVERT LEVEL	
INSPECTION SHAFT CONNECTION TYPE (REFER TYPICAL I.S. SETOUT DETAILS)	151, 152, 153 AND 154
INSPECTION OPENING	10
LOTS SERVICED IN PREVIOUS STAGE BUT RELEASED IN THIS STAGE	
SERVICE LAID IN THIS STAGE FOR RELEASE IN FUTURE STAGE	
FINISHED SURFACE DESIGN CONTOUR	25.0
DESIGN LOT PAD LEVEL	25.00
PROPOSED LIMESTONE RETAINING WALL	
EXISTING LIMESTONE RETAINING WALL	
FUTURE LIMESTONE RETAINING WALL	
PROPOSED KERB LINES	
EXISTING KERB LINES	
FUTURE KERB LINES	
EASEMENT	
POST DEVELOPMENT GROUND WATER LEVEL	



Note: Proposed carpark and proposed retail site is indicative and for illustrative purposes only.

Deposited Plan

LIMITED IN DEPTH TO 60.96 METRES





Contact

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